



**Prepared For:** Sally Buyer

**Property Address:** 123 Sample Drive, Clemson, SC 29676

**Inspector:** Jay League  
**Company:** League Enterprises, LLC  
dba WIN Home Inspection Foothills  
(864) 225-9200  
jleague@wini.com

**Services Included in this Report:**

---

Full Home Inspection  
Radon Testing

## NOT A WARRANTY

THE SERVICES PERFORMED, THE AGREEMENT, AND THE REPORT DO NOT CONSTITUTE A WARRANTY, AN INSURANCE POLICY, OR A GUARANTEE OF ANY KIND, NOR DO THEY SUBSTITUTE FOR ANY DISCLOSURE STATEMENT AS MAY BE REQUIRED BY LAW.

There are no warranties made against roof leaks, wet basements, or mechanical breakdowns. The report is NOT a listing of repairs that need to be made. Therefore, you agree NOT to hold us responsible for future failure and repair, or for the non-discovery of any patent or latent defects in material, workmanship, or other conditions of the property which may occur or become evident after the date the services were performed; nor for any alleged non-disclosure of condition that are the express responsibility of the seller of the property. You agree to assume all the risk for conditions which are concealed from view or inaccessible to us at the time that the services were performed.

**THIS REPORT IS INTENDED ONLY FOR THE USE OF THE PERSON PURCHASING THE HOME INSPECTION SERVICES. NO OTHER PERSON, INCLUDING A PURCHASER OF THE INSPECTED PROPERTY WHO DID NOT PURCHASE THE HOME INSPECTION SERVICES, MAY RELY UPON ANY REPRESENTATION MADE IN THE REPORT.**

THIS REPORT IS FOR THE EXCLUSIVE USE OF OUR CLIENT AS NAMED IN THE INSPECTION AGREEMENT. It may not be used or relied upon by any other person unless that person is specifically named by us in the Inspection Agreement as a recipient of this report. Distribution of this report to any third party without the written consent of the inspector and WIN Home Inspection is prohibited. As the client, you agree to maintain the confidentiality of this report and to reasonably protect the report from distribution to any third party. You agree to indemnify, defend and hold us harmless if any third party brings a claim against us relating to the inspection or to this report.

## EXPLANATION OF TERMS

This report was prepared and written with the age and type of structure taken into consideration. Below is an explanation of the terms used in the report.

**FUNCTIONAL:** Items marked Functional appear to be in serviceable condition using normal operating controls. There were no visible indication of failure at the time the services were performed.

**SATISFACTORY:** Items marked Satisfactory appear to be in serviceable condition using normal operating controls. There were no visible indications of failure at the time the services were performed. Items that need minor service that do not significantly affect an item's use may be classified as satisfactory.

**ATTENTION:** Items marked Attention appear to be in need of preventive maintenance or service. Attention may also indicate an item that the inspector would recommend gaining further information from a third party immediately in order to provide additional clarification and/or insight into the item's condition.

**MAINTENANCE:** Items marked Maintenance are in need of repair or replacement in order to make the item functional and/or prevent further deterioration.

**ACTION REQUIRED:** Items marked Action Required appear to be in need of immediate repair or replacement. Delay in repair or replacement may result in a dramatic shortening of the life expectancy of the item, have immediate effect on the item, system, structure, other related items, or present a potential health and/or safety hazard.

**PRESENT:** Items marked Present were visible at the time the services were performed and were not tested or inspected due to either the type of device or access limitations.

**NOT INSPECTED:** Items marked Not Inspected may be present at the time the services were performed and were not inspected due to obstruction, weather condition or the inspection of the item is not within the scope of the services performed.

**N/A:** Items marked N/A are not included in the report. The item may not be present, not included, not accessible, not available, not addressed, not applicable, not appropriate, and/or not examined.

## WIN Home Inspection

### Full Home Inspection

This report contains confidential information and is supplied solely for use by the client(s) of:

**League Enterprises, LLC dba WIN Home Inspection Foothills**  
**3300 North Main Street, Anderson, South Carolina 29621**  
**(864) 225-9200 foothills.wini.com**

**Work Order Number:** 6381

**Service Date:** 11/17/2023

**Time:** 9:00 AM

**Site Address:**

123 Sample Drive, Clemson, SC 29676

**Site Information:**

**Weather:** 65 °F - Clear

**Approximate Year Built:** 2018

**Structure:** Single Family

**Foundation:** Slab

**Bedrooms:** 3

**Bathrooms:** 3

**Floors:** 2

**Occupied:** No

**Approximate Square Footage:** 1780

**Client:**

**Name:** Sally Buyer

**Address:** 123 Sample Drive, Clemson, South Carolina  
29676

**Work Phone:**

**Home Phone:**

**Mobile Phone:** (884) 123-1234

**Email Address:** sbuyer@gmail.com

**Client Present at Inspection:** Yes

**Buyer's Agent:**

**Name:** None

**Company:**

**Address:**

, SC

**Phone:**

**Email:**

**Buyer's Agent Present at Inspection:** No

**Seller's Agent:**

**Name:** None

**Company:**

**Address:**

, SC

**Phone:**

**Email:**

**Seller's Agent Present at Inspection:** No

**Inspector:**

Jay League

League Enterprises, LLC

dba WIN Home Inspection Foothills

**License / Certification:** 49212

**Email:** jleague@wini.com

**Notes:**

# SUMMARY SECTION



# Full Home Inspection Summary Report

We have identified various items on the subject structure that either require maintenance now or require periodic maintenance in the normal course of ownership. This is only a summary report and is intended as a guide to be used in both short and long term scheduling of maintenance items. Please read the complete report carefully as additional information and details are contained therein. It is always advisable to use experienced tradespeople or a qualified handyperson when contracting for work that may not be within the scope of your capabilities.

## 1. Structure Perimeter Exterior - Structure Perimeter Exterior General Statement(s) Report Format Information

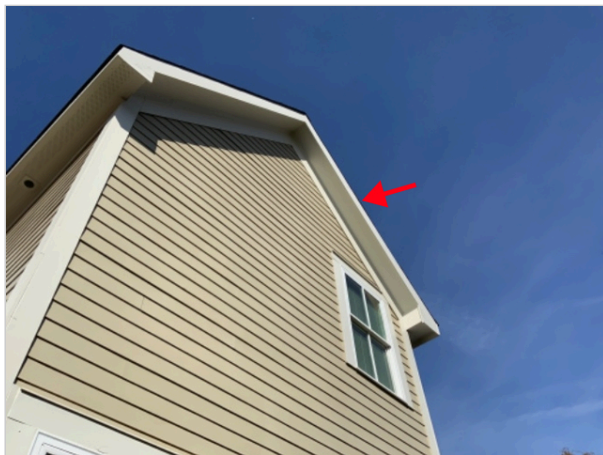
1. Items in the Summary section **are also included in the Full Report.**
2. Those remarks are in an ***italicized font*** in the Full Report.
3. So the report is not unnecessarily long, those remarks **do not include the associated photo.**

To make the report as clear as possible, when describing where things are located on the property, they are identified as if the inspector were facing the home from the street. (For example, front, back, left, right, etc.)

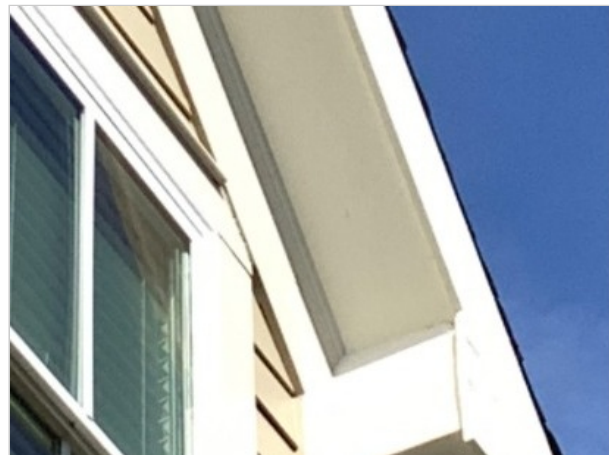
## 2. Roof - Cover Material Condition

### Attention

The edge of the shingles do not extend far enough over the fascia. Generally, they should extend between 1 inch to 1/2 inch depending on the manufacturer's specification and if there is a drip edge installed or not. It is recommended to have a licensed roofer further evaluate and correct as needed.



Left Side



Close Up

## 3. Roof - Drains/Splash Blocks

### Attention

There are downspouts emptying next to the foundation. This can cause erosion and damage. Correct as needed.

# Full Home Inspection Summary Report



Left Side



Right Side

## 4. Roof - Gutters/Down Spouts

### Attention

There is not a complete gutter system installed. Installing a complete gutter system will help move water properly away from the structure to prevent water damage.



Left Side

## 5. Kitchen(s) - Cook top, Burners/Elements

### Attention

All the burners turn on but there is an unusually long delay when lighting. This is typically due to a clogged or wet ignition port. Correct as needed.

# Full Home Inspection Summary Report



## 6. Laundry Area - Washer Hookup(s)

### Attention

When the homeowner removed the washing machine yesterday, the cold water hook-up was not turned off all the way so a little water was leaking onto the floor. The inspector turned it off, towel-dried the area, and notified the Listing Agent.



Area



Close Up

## 7. Attic - Framing condition

### Attention

The trusses appear to have had sections removed and wood members added. This was most likely done to provide more access into the area. It is recommended to have a qualified contractor confirm that the modifications are acceptable.



# Full Home Inspection Summary Report



## 8. Structure - Radon Mitigation System Installed

No

The inspector did not locate a radon mitigation system. The inspector set out a radon monitor and will provide those test results in another report.



## 9. Water Heater - Expansion Tank

Attention

The average life of an expansion tank is 5-10 years. The best practice is to have it tested annually when water heaters are flushed.

Also, it is recommended that horizontally installed expansion tanks are supported. The concern is that the tank and the weight of water in the tank could weaken the fittings. Straps or other support are commonly used.

# Full Home Inspection Summary Report



## 10. Water Heater - Installation

### Attention

For improved safety, the door to the gas water heater should be fully sealed since it is installed inside the living area.



## 11. Electrical Service - Outlets, Switches, Junction Boxes, Lighting

### Attention

There is a broken piece of a plug in the receptacle. Repair as needed.



Front Porch



Close Up

# FULL REPORT

# Home Inspection Details

(Italicized comments also appear in the summary report)

## Structure Perimeter Exterior

### 1. Structure Perimeter Exterior General Statement(s)

Structure Perimeter Exterior General Statement(s)

#### **Report Format Information**

1. Items in the Summary section **are also included in the Full Report.**

2. Those remarks are in an **italicized font** in the Full Report.

3. So the report is not unnecessarily long, those remarks **do not include the associated photo.**

*To make the report as clear as possible, when describing where things are located on the property, they are identified as if the inspector were facing the home from the street. (For example, front, back, left, right, etc.)*

### 2. Address Identification

Satisfactory

### 3. Site Drainage

Satisfactory

### 4. Evidence of Erosion

No

### 5. Evidence of Insects

Attention

This inspection does not include investigating for the presence of wood-destroying organisms. **It is always recommended to have a licensed wood-destroying organism contractor perform a thorough inspection.**

There is a termite prevention system installed. The inspector recommends asking the seller about any transferable warranties or bonds and about their knowledge of any past or present termite activity.



### 6. Visible Cracks

No

### 7. Proper Earth-Wood Clearance

Satisfactory

### 8. Vegetation Clear from Structure

Attention



# Home Inspection Details

(Italicized comments also appear in the summary report)

There is vegetation growing up against the exterior surface. All vegetation should be trimmed at least 6 inches away from the structure to reduce the chance of damage to the surface and pest infestation.



Back Left

## 9. Watering System

Yes

The property is equipped with a watering system. Testing it is not within the scope of the inspection. The inspector recommends asking the seller to demonstrate the operation.

## 10. Foundation Material(s)

Identified

Block

### Exterior Structure

#### 1. Flat Surface Material(s)

Identified

Cement Fiberboard

#### 2. Siding Condition

Functional

#### 3. Painted Surfaces

Functional

#### 4. Caulking Structure

Functional

#### 5. Eave/Soffit Areas

Functional

#### 6. Fascia Boards/Trim

Functional

#### 7. Exterior Columns/Support structures

Functional

### Decks

#### 1. Surface(s)

Identified

Wood and Concrete



# Home Inspection Details

(Italicized comments also appear in the summary report)

## 2. Foundation/Framing

Satisfactory

## 3. Railings

Functional

## 4. Steps and Handrails

Functional

## 5. Electrical Service and Lighting

Yes

## 6. Weather Protected Outlet

Satisfactory

### Utility Services

#### 1. Utility Services General Statement(s)

Utility Services General Statement(s) Attention

There is a solar panel system installed. This was not tested by the inspector. It is recommended to ask the seller for operational instructions and the service history. Also, please note that due to the solar panels, there are areas of the roof that are not accessible for visual inspection.



#### 2. Electrical Services

Underground

#### 3. Gas Service

Natural

The scope of the inspection **does not include taking an ambient reading for carbon monoxide** which can be generated by malfunctioning fossil fuel heating systems, such as furnaces and water heaters. An attached garage can also be a source. Annual maintenance of fossil fuel systems by a qualified contractor is always recommended.

#### 4. Service Shut Off(s)

Identified

Natural Gas Meter

#### 5. Fuel Storage Tank Location

N/A

#### 6. Gas Odors

No

# Home Inspection Details

(Italicized comments also appear in the summary report)

## 7. Vents/Exhaust

Satisfactory

The accessible and visible vent piping is satisfactory. As part of routine maintenance, the vent piping should be inspected annually when gas appliances are serviced.

## 8. Sewer

Public

## 9. Sewer Line Clean-out

Identified

Front Yard



## 10. Water Source

Public

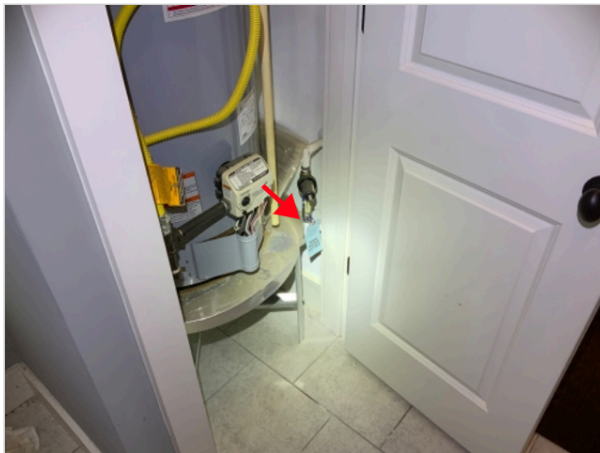
## 11. Water Meter Location

At Street

## 12. Water Shutoff

Identified

Meter and Laundry Room



Laundry Room

## Roof

### 1. Roof Cover Material(s)

# Home Inspection Details

(Italicized comments also appear in the summary report)

Identified

Three-Tab Shingles and Metal

## 2. Apparent Number of Layers

1 Layer

## 3. Roof Evaluated From

Aerial Drone

There were areas that were not fully accessible for inspection due to the roof slope and high elevation. The inspector was able to capture images of the roof using an aerial drone.



## 4. Cover Material Condition

Attention

*The edge of the shingles do not extend far enough over the fascia. Generally, they should extend between 1 inch to 1/2 inch depending on the manufacturer's specification and if there is a drip edge installed or not. It is recommended to have a licensed roofer further evaluate and correct as needed.*

## 5. Debris on Roof

None

## 6. Moss/Mildew

None

## 7. Vents/Chimneys/Covers

Functional

## 8. Ridges





# Home Inspection Details

(Italicized comments also appear in the summary report)

Functional

## 9. Drains/Splash Blocks

Attention

*There are downspouts emptying next to the foundation. This can cause erosion and damage. Correct as needed.*

## 10. Gutters/Down Spouts

Attention

*There is not a complete gutter system installed. Installing a complete gutter system will help move water properly away from the structure to prevent water damage.*

## 11. Indications of Leaking

No

At the time of the inspection, the inspector found no evidence that the roof system is currently leaking.

## 12. Separate Certification Required

Attention

The inspector does not provide a roof warranty. If desired, this can be purchased from a licensed roofer.

## Kitchen(s)

### 1. Ceiling/Walls/Doors

Satisfactory

### 2. Floor Cover Material

Functional

### 3. Counter Tops

Functional

### 4. Kitchen Fixtures

Functional

### 5. Water Temperature - At Fixture

Satisfactory

The water temperature is within 5°F of the Consumer Product Safety Commission's recommendation of 120°F.

### 6. Drains Appear Clear

Yes

### 7. Under Sink Inspection

Attention

The current best practice is that drain lines for the dishwasher are attached as high as possible to prevent water from the sink from entering the dishwasher. Lifting the drain line and attaching it to the cabinet is recommended.

# Home Inspection Details

(Italicized comments also appear in the summary report)



## 8. Garbage Disposal

Attention

There are one or more items in the garbage disposal. It is recommended to have any items safely removed.



## 9. Built-in Microwave Operational

Yes

## 10. Built-in Microwave Door Appearance

Satisfactory

## 11. Stove Exhaust Fan

Functional

## 12. Stove Exhaust Filter

Functional

## 13. Stove/Cook Top

Gas

## 14. Cook top, Burners/Elements

Attention

*All the burners turn on but there is an unusually long delay when lighting. This is typically due to a clogged or wet ignition port. Correct as needed.*

## 15. Oven

Gas

# Home Inspection Details

(Italicized comments also appear in the summary report)

## 16. Oven Appearance/Condition

Functional

## 17. Oven Operational

Yes

The oven was successfully on/off tested. Please note that appliances are tested for basic functionality only.

## 18. Water For Refrigerator

Yes

There is a water supply line. It is not connected nor tested.

## 19. Drawers/Doors

Satisfactory

## 20. Woodwork Finishes

Satisfactory

## 21. Dishwasher

Functional

The dishwasher appears to be working normally. An on/off check was performed to confirm the operation, proper draining, that there are no leaks and no unusual noises. Please note that appliances are tested for basic functionality only. The inspector cannot comment on the full extent of the functions nor the ability to clean.



## Bathroom(s)/Washroom(s)

### 1. Ceiling/Walls/Doors

Functional

### 2. Floor Cover

Functional

### 3. Caulking - Water Exposed Area

Functional

### 4. Ventilation

Functional

### 5. Medicine Cabinet/Vanity

Functional

### 6. Sink Drain

Functional

# Home Inspection Details

(Italicized comments also appear in the summary report)

## 7. Sink/Fixtures

Functional

## 8. Shower Fixtures

Functional

## 9. Shower/Tub Enclosure(s)

Functional

## 10. Tub(s)

Functional

## 11. Tub Fixtures

Functional

## 12. Tub/Shower Drain(s)

Functional

## 13. Toilet(s)

Functional

## 14. Mildew Noted

N/A

The scope of this inspection does not include investigating for conditions related to mold, mildew, or fungus.

## Laundry Area

### 1. Dryer Ventilation System

Attention

This vent doesn't close fully. Correct as needed.



Right Side

### 2. Ceiling/Walls/Doors

Satisfactory

### 3. Floor Condition

Satisfactory

### 4. Shelving/Storage

Satisfactory

### 5. Washer Hookup(s)

Attention

# Home Inspection Details

(Italicized comments also appear in the summary report)

*When the homeowner removed the washing machine yesterday, the cold water hook-up was not turned off all the way so a little water was leaking onto the floor. The inspector turned it off, towel-dried the area, and notified the Listing Agent.*

## 6. Dryer Hookup(s)

Yes

## 7. Gas Service

No

## 8. Dryer Electrical Service 240V

Yes

## 9. Drain(s)

N/A

The inspector was unable to test the washer drain because there was no washing machine present.

## 10. Laundry Basin

None

## Central Heating and Cooling

### 1. Unit Location(s)

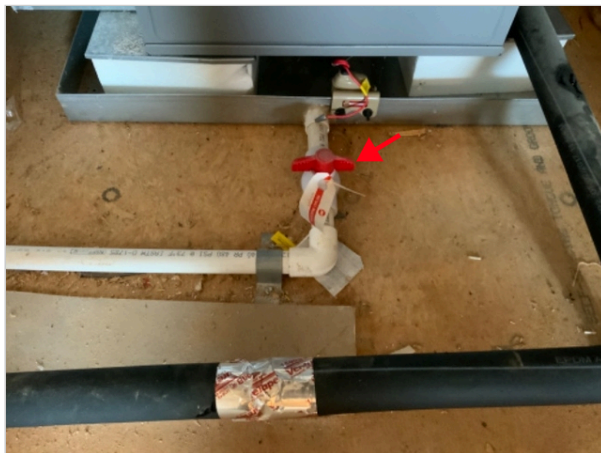
Identified

Exterior and Attic

### 2. Appearance or Condition of Units

Attention

The drain line is turned off for the catch tray. There is a float switch installed should water build up in the catch tray. It is recommended to open the valve for catch tray so any water collected can drain away.



Attic

It is recommended to remove any mulch that is blocking the condensing unit's fins because this will reduce airflow across the coils and the efficiency of the unit.



# Home Inspection Details

(Italicized comments also appear in the summary report)



Right Side



Close Up

## 3. Power Disconnect Location

At or Near the Unit

## 4. Operation Noise

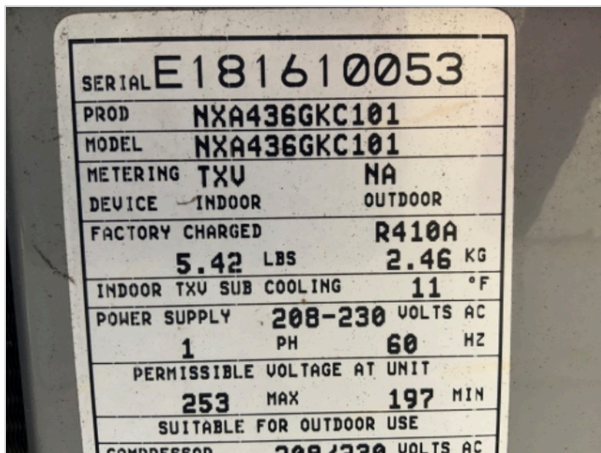
Satisfactory

## 5. Cooling System Type

A/C System

Manufactured 2018

The average life of an air conditioner is 15-20 years but can certainly last longer if it is serviced regularly.



## 6. Manufacturer Specifications

Identified

3 Ton Unit

## 7. Heat Source/Type(s)/Info

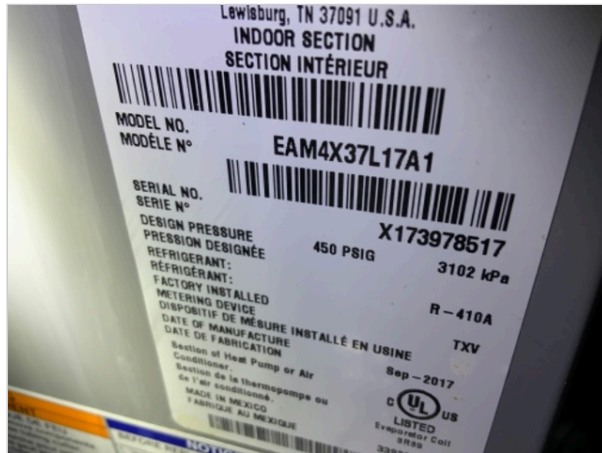
Gas Furnace

Manufactured 2017

The average life of a gas furnace is 20 years but can certainly last longer if it is serviced regularly.

# Home Inspection Details

(Italicized comments also appear in the summary report)



## 8. Service Notes

### Attention

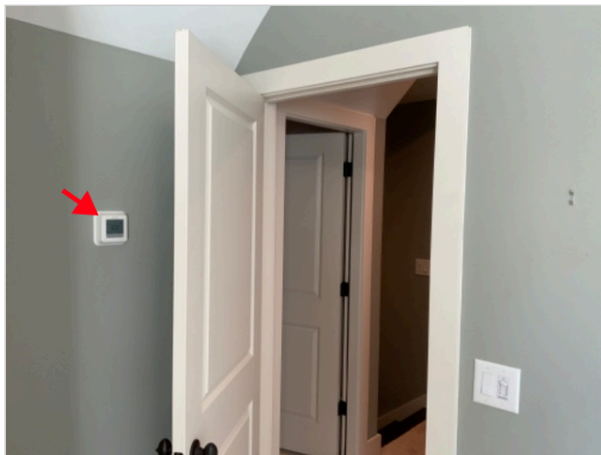
As part of routine maintenance, HVAC equipment should be serviced at least once a year so it is always recommended to confirm that a qualified HVAC technician has performed a servicing within the last 12 months. If not, the inspector recommends that this is done to ensure long-term, efficient operation.

## 9. Thermostat Location(s)

### Attention

Living Room and Bedroom Upstairs

The upstairs thermostat is located behind the left bedroom door. It is functional but the best practice is for it to be placed in an unblocked central area such as the hallway.



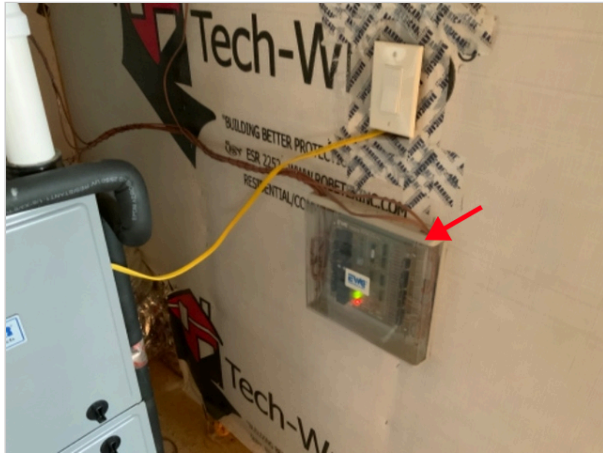
## 10. Thermostat Condition

### Attention

There is one HVAC system for the Main Level and Upstairs. Each area has its own thermostat that is monitored by a zone controller to maintain the desired temperature in each area. It also allows the thermostats to be set at different temperatures in the same heating or cooling mode.

# Home Inspection Details

(Italicized comments also appear in the summary report)



Zone Controller-Attic

## 11. Ambient Temperature at Heat Source

Ambient Temperature at Heat Source

Main Level - 63 Upstairs - 63

## 12. Supply/Return Temperature Difference

Satisfactory

The inspector performed a test to compare the ambient air temperature inside the home to the temperature of the conditioned air coming out of the HVAC supply vents. A general rule of thumb for heat is that a 20-degree or more difference is acceptable. When cooling, a 16-degree or more difference is acceptable.

### Cool

Main Level - 22 Upstairs - 20

### Heat

Main Level - 30 Upstairs - 32

## 13. Supply and Return Duct Condition

Functional

## 14. Non Conditioned Space

N/A

## 15. Filter Condition

Attention

There is a central air filter.



## Home Inspection Details

(Italicized comments also appear in the summary report)



Attic

### 16. Electronic Filter System

No

### 17. Condensate Drain System

Attention

The drain line for the attic furnace is functional but the extension is disconnected and it is in the mulch so it is clogged. Correct as needed.



Right Side



Right Side

### Attic

#### 1. Access Location/Type

Identified

Hallway Upstairs

#### 2. Access

Functional

#### 3. Attic Evaluated By

Entrance

#### 4. Inaccessible Areas

Yes

The attic was thoroughly visually inspected from the floored landing area. There were areas of the attic without flooring which were not safely accessible.

# Home Inspection Details

(Italicized comments also appear in the summary report)

## 5. Insulation

Identified

Fiberglass Batten



## 6. Duct Work Piping

Functional

## 7. Exposed Rafters/Sheathing

Satisfactory

## 8. Framing condition

Attention

*The trusses appear to have had sections removed and wood members added. This was most likely done to provide more access into the area. It is recommended to have a qualified contractor confirm that the modifications are acceptable.*

## 9. Light Thru

No

## 10. Ventilation

Functional

## 11. Evidence of Insects

N/A

## Structure

### 1. Insulation

Attention

The scope of this inspection does not include insulation that is not readily accessible and visible.

### 2. Asbestos Noted

Not Inspected

The scope of this inspection does not include investigating for the presence of asbestos.

### 3. Lead

Not Inspected

The scope of this inspection does not include investigating for the presence of lead.

### 4. Description

Wood Framed

### 5. Carbon Monoxide Detector(s)

# Home Inspection Details

(Italicized comments also appear in the summary report)

## Present

The inspector noted the presence of one or more carbon monoxide (CO) detectors inside the structure. The Consumer Product Safety Commission recommends that CO detectors be installed on each level of the home and outside sleeping areas. Regularly testing the units per the manufacturer's guidelines is recommended as well. Also, please note that an ambient reading for CO was not taken during the inspection.

## 6. Smoke Detector(s)

### Present

The inspector noted the presence of smoke/fire detectors inside the structure. Detectors should be tested upon occupying the property, as part of ongoing routine maintenance, and installed according to jurisdictional regulations and manufacturer specifications. The National Fire Protection Association recommends replacement after 10 years.

## 7. Furniture/Storage

### Vacant

## 8. Interior Stairway Structure

### Functional

## 9. Interior Ventilation Method

### Identified

Bathrooms

## 10. Radon Mitigation System Installed

### No

*The inspector did not locate a radon mitigation system. The inspector set out a radon monitor and will provide those test results in another report.*

## 11. Remodel/Modernization Evident

### Attention

It is recommended to confirm if there have been updates and if any required permits were issued. If applicable, it is recommended to request the name of who performed the work and if there is any warranty.

## 12. Floor Structure

### Identified

Concrete

## 13. Roof Structure

### Trusses

## 14. Windows, Latches/Locks

### Attention

There is a window that was not able to be latched because the sashes do not align. Correct as needed.

## 15. Evidence of Undesirable Animals

### No

## Water Heater

### 1. Location(s)

#### Identified

Laundry Room

### 2. Type

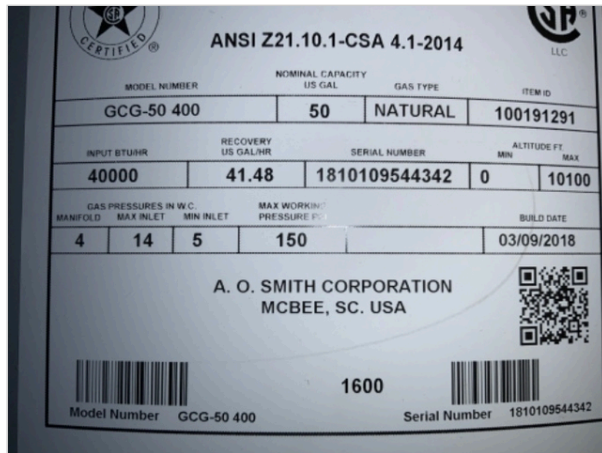
#### Natural Gas

Manufactured 2018

# Home Inspection Details

(Italicized comments also appear in the summary report)

The life expectancy of a water heater is typically 8-12 years from the date of installation, although there are exceptions on both sides of this range.



## 3. Size Main/Aux (Gal)

Identified

50 Gallons

## 4. Evidence of Encrustation

No

## 5. Evidence of Leaks

Satisfactory

## 6. Safety Valve

Present

## 7. Discharge Pipe

Present

## 8. Expansion Tank

Attention

*The average life of an expansion tank is 5-10 years. The best practice is to have it tested annually when water heaters are flushed.*

*Also, it is recommended that horizontally installed expansion tanks are supported. The concern is that the tank and the weight of water in the tank could weaken the fittings. Straps or other support are commonly used.*

## 9. Installation

Attention

*For improved safety, the door to the gas water heater should be fully sealed since it is installed inside the living area.*

## Electrical Service

### 1. Service Ground Verified

Satisfactory

### 2. Outlets, Switches, Junction Boxes, Lighting

Attention

*There is a broken piece of a plug in the receptacle. Repair as needed.*



# Home Inspection Details

(Italicized comments also appear in the summary report)

The inspector recommends replacing or installing any light bulbs that are missing or not working then testing. If they do not function, then the inspector recommends contacting an electrician for further evaluation and repair.



Attic



Kitchen

## 3. Receptacle Ground Verify

Functional

## 4. G.F.C.I. Protection

Functional

The accessible GFCI outlets and/or breakers are functional.

## 5. Panel/Sub-Panel Location(s)

Identified

Exterior and Laundry Room

## 6. Panel Cover

Functional

## 7. Panel Cover(s) Removed

Satisfactory

## 8. Service Size (Amps)/(Volts)

Identified

One 200 Amp-240 Volt Main Panel and one 200 Amp Sub Panel

## 9. Service to Panel

Aluminium

## 10. Panel to Structure

Copper

## 11. Over Current Devices

Breakers

## 12. Arc Fault Breakers (A.F.C.I.)

Present

They were successfully tripped and reset using the button on the breaker.

## 13. Wire Method

Romex

## 14. Breaker Configuration

Functional



# Home Inspection Details

(Italicized comments also appear in the summary report)

## 15. Wire-Over Current Compatibility

Functional

### Other Room(s)

#### 1. Ceiling/Walls/Doors

Attention

The strike plate for this door needs adjustment for proper latching.



Left Guest Bedroom

#### 2. Floors

Satisfactory

### Fireplace/Wood Stove

#### 1. Fireplace/Wood Stove General Statement(s)

Fireplace/Wood Stove General Statement(s) Attention

Fireplaces, fuel-burning stoves, and chimneys should be inspected by a qualified contractor prior to their first use, and not less than annually.

#### 2. Solid Fuel/Gas Logs/Gas Appliance

Identified

Gas

The gas was on and the pilot was lit so the system was successfully on/off tested. This inspection does not cover code clearances and installation. Of course, a carbon monoxide detector is always recommended.





# Home Inspection Details

(Italicized comments also appear in the summary report)

## 3. Firebox

Functional

## 4. Flue Dampers

N/A

### Main Entry Door

#### 1. Correct Application

Yes

#### 2. Finish

Functional

#### 3. Door Chime

Functional

#### 4. Locks

Satisfactory

#### 5. Door Fit

Functional

#### 6. Weather Strip

Satisfactory

### Other Ext. Entry Doors

#### 1. Correct Application

Yes

#### 2. Finish

Satisfactory

#### 3. Locks

Satisfactory

#### 4. Door Fit

Functional

#### 5. Weather Stripping

Satisfactory

#### 6. Storm/Screen Door(s)

Functional

### Plumbing

#### 1. Pressure Readings Interior/Exterior

Attention

The static water pressure is between 40 psi and 80 psi.

As a proactive measure, **it is always recommended to have an automatic water shut-off device and leak sensors installed** because even a small leak over time can cause significant damage. Common sources of leaks are toilets, sinks, water heaters, dishwashers, and refrigerators.

There are a variety of solutions available. One example is Flo by Moen. Some homeowner insurers offer a discount when installed.



# Home Inspection Details

(Italicized comments also appear in the summary report)

**2. Size Service to Structure**

3/4 Inch

**3. Encrustations Evident**

No

**4. Exterior Water Flow**

Functional

**5. Interior Water Flow**

Functional

**6. Pipe Rumble Noise**

No

**7. Structure Pipe Material**

Identified

PEX

**8. Waste Pipe Material**

Attention

The inspector ran water from all the accessible fixtures for several minutes each and flushed each toilet at least twice and found no indications of a main drain line issue. Please be aware that the scope of the inspection **does not include invasively inspecting the interior of the drain lines.**

PVC

**9. Waste Ejector/Lift Pumps**

N/A

**10. Evidence of Leaks**

No

**Slab Foundation****1. Cracks/Separations**

Satisfactory

**2. Level/Gradation**

Satisfactory

**3. Moisture/Dampness**

Satisfactory

**4. Off Sets (Heaving)**

Satisfactory

**5. Footings/Sills**

Not Visible

**Detached Structure****1. Siding/Trim/Soffits**

Functional

**2. Paint, Flat Exterior**

Functional

**3. Vegetation Clear From Structure**

Satisfactory

# Home Inspection Details

(Italicized comments also appear in the summary report)

## 4. Gutters/Down Spouts

Attention

There is no gutter system installed. Installing a gutter system will help move water properly away from the structure to prevent water damage.



## 5. Roof Material

Identified

Three-Tab Shingles

## 6. Roof Condition

Functional

## 7. Window(s)

Functional

## 8. Lighting

Functional

## 9. HVAC

No

## 10. Floor/Foundation

Satisfactory

There are no significant cracks or other visible defects.

## 11. Structure

Satisfactory

The framing was acceptable at the time of inspection based on a visual review. This report does not include calculations for determining the adequacy of the design of the framing.

## 12. Evidence of Moisture Penetration

No

## 13. Rafter/Beams

Functional

The safely accessible roof framing was acceptable based on a visual review. This report does not include calculations for determining the adequacy of the design.



# Home Inspection Details

(Italicized comments also appear in the summary report)

**14. Primary Entry Door**

Functional

**15. Automatic Opener(s)**

Functional

**16. Door Seal(s)**

Functional

**17. Safety Operation, Opener**

Functional

**18. Springs/Mount**

Functional

**19. Evidence of Insects**

Attention

This inspection does not include investigating for the presence of wood-destroying organisms. **It is always recommended to have a licensed wood-destroying organism contractor perform a thorough inspection.**