



**Prepared For:** Sample Homebuyer

**Property Address:** 1234 Easy St., Cape Coral, FL 33993

**Inspector:** Jason Vernier  
**Company:** Vernier Enterprises, Inc.  
dba WIN Home Inspection Fort Myers  
jvernier@wini.com

**Services Included in this Report:**

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Standard Full Home Inspection

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# WIN Home Inspection

## Standard Full Home Inspection

This report contains confidential information and is supplied solely for use by the client(s) of:

**Vernier Enterprises, Inc. dba WIN Home Inspection Fort Myers**  
**1307 NW 7th Place, Cape Coral, Florida 33993**

**Work Order Number:** 14892506

**Service Date:** 7/19/2022

**Time:** 3:00 PM

**Site Address:**

1234 Easy St., Cape Coral, FL 33993

**For the purpose of this inspection, the Main Entry Door faces: West**

**Site Information:**

**Weather:** 92 °F - Sunny

**Approximate Year Built:** 2006

**Structure:** SF - Block

**Foundation:** Concrete Slab

**Bedrooms:** 4

**Bathrooms:** 2

**Floors:** 1

**Occupied:** Yes

**Approximate Square Footage:** 2333

**Client:**

**Name:** Sample Homebuyer

**Address:**

**Work Phone:**

**Home Phone:**

**Mobile Phone:**

**Email Address:** jvernier@wini.com

**Client Present at Inspection: No**

**Buyer's Agent:**

**Name:** John Donaldson

**Company:** Re/Max Realty Team - Pine Island

**Address:** 814 Sw Pine Island Rd Ste 207  
Cape Coral, FL 33990

**Phone:**

**Email:** JD@realtyteam.com

**Buyer's Agent Present at Inspection: Yes**

**Seller's Agent:**

**Name:**

**Company:**

**Address:**

**Phone:**

**Email:**

**Seller's Agent Present at Inspection: No**

**Inspector:**   
Jason Vernier

Vernier Enterprises, Inc.  
dba WIN Home Inspection Fort Myers

**License / Certification:** HI15155

**Email:** jvernier@wini.com

**Notes:**

## NOT A WARRANTY

THE SERVICES PERFORMED, THE AGREEMENT, AND THE REPORT DO NOT CONSTITUTE A WARRANTY, AN INSURANCE POLICY, OR A GUARANTEE OF ANY KIND, NOR DO THEY SUBSTITUTE FOR ANY DISCLOSURE STATEMENT AS MAY BE REQUIRED BY LAW.

There are no warranties made against roof leaks, wet basements, or mechanical breakdowns. The report is NOT a listing of repairs that need to be made. Therefore, you agree NOT to hold us responsible for future failure and repair, or for the non-discovery of any patent or latent defects in material, workmanship, or other conditions of the property which may occur or become evident after the date the services were performed; nor for any alleged non-disclosure of condition that are the express responsibility of the seller of the property. You agree to assume all the risk for conditions which are concealed from view or inaccessible to us at the time that the services were performed.

**THIS REPORT IS INTENDED ONLY FOR THE USE OF THE PERSON PURCHASING THE HOME INSPECTION SERVICES. NO OTHER PERSON, INCLUDING A PURCHASER OF THE INSPECTED PROPERTY WHO DID NOT PURCHASE THE HOME INSPECTION SERVICES, MAY RELY UPON ANY REPRESENTATION MADE IN THE REPORT.**

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## EXPLANATION OF TERMS

This report was prepared and written with the age and type of structure taken into consideration. Below is an explanation of the terms used in the report.

**FUNCTIONAL:** Items marked Functional appear to be in serviceable condition using normal operating controls. There were no visible indication of failure at the time the services were performed.

**SATISFACTORY:** Items marked Satisfactory appear to be in serviceable condition using normal operating controls. There were no visible indications of failure at the time the services were performed. Items that need minor service that do not significantly affect an item's use may be classified as satisfactory.

**ATTENTION:** Items marked Attention appear to be in need of preventive maintenance or service. Attention may also indicate an item that the inspector would recommend gaining further information from a third party immediately in order to provide additional clarification and/or insight into the item's condition.

**MAINTENANCE:** Items marked Maintenance are in need of repair or replacement in order to make the item functional and/or prevent further deterioration.

**ACTION REQUIRED:** Items marked Action Required appear to be in need of immediate repair or replacement. Delay in repair or replacement may result in a dramatic shortening of the life expectancy of the item, have immediate effect on the item, system, structure, other related items, or present a potential health and/or safety hazard.

**PRESENT:** Items marked Present were visible at the time the services were performed and were not tested or inspected due to either the type of device or access limitations.

**NOT INSPECTED:** Items marked Not Inspected may be present at the time the services were performed and were not inspected due to obstruction, weather condition or the inspection of the item is not within the scope of the services performed.

**N/A:** Items marked N/A are not included in the report. The item may not be present, not included, not accessible, not available, not addressed, not applicable, not appropriate, and/or not examined.

**SUMMARY  
SECTION**



We have identified various items on the subject structure that either require maintenance now or require periodic maintenance in the normal course of ownership. This is only a summary report and is intended as a guide to be used in both short and long term scheduling of maintenance items. Please read the complete report carefully as additional information and details are contained therein. It is always advisable to use experienced tradespeople or a qualified handyman when contracting for work that may not be within the scope of your capabilities.

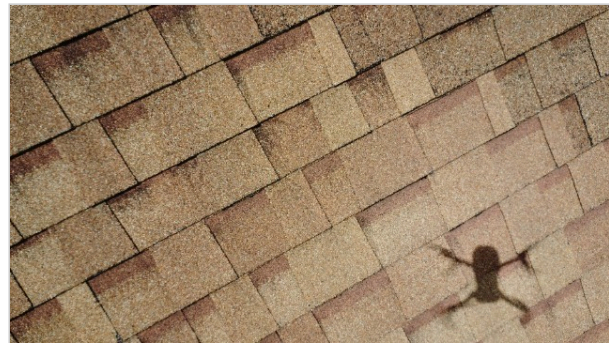
## 1. Roof - Cover Material Condition

### Attention

Although the asphalt composition shingles covering the roof of this structure are not new, they appear to be in generally serviceable condition at the time of the inspection. However, Florida insurance regulations vary and generally roof covers older than 15 years may not be approved for insurance coverage although the shingles have not reached the end of manufacture service life. Recommend checking with your insurance carrier in this regard and further evaluation by a licensed roofer.



Roof cover greater than 15 years per posted permits.



Roof cover greater than 15 years per posted permits.

There are areas of the roof cover that appear to have been previously repaired or replaced. Additionally, there are dry moisture stains under these repaired areas in the attic space. It appears a past leak at the dryer vent may have been repaired. Recommend questioning the seller as to the nature of the repairs and if indicated further evaluation by a licensed contractor.



Repaired areas.



Past stain and repair.

## 2. Exterior Structure - Siding Condition

### Maintenance - Damaged Siding

One or more areas of the siding are damaged and should be repaired to prevent moisture and pest intrusion. Recommend repair by a qualified specialist.





Minor crack.



Affected area in front.



Minor crack.



Affected area on South side.

### 3. Exterior Structure - Caulking Structure

#### Maintenance - Utility Gaps

There are utility penetration(s) into the structure that have gaps and should be caulked or sealed to prevent moisture and pest intrusion. Recommend adding silicone or similar all weather caulking or sealant to all utility gaps



Penetration needs re-sealed on South side.



## 4. Patios/Decking/Porches - Concrete Slab

### Maintenance - Cracks

One or more areas of the concrete has cracks. Cracks less than 1/8th of an inch and less than 18 inches in length are generally considered minor. All concrete is subject to cracks and chips. This is a natural part of the process of being exposed to the elements and settling. Recommend monitoring and application of an epoxy sealant or polyurethane caulking as needed.



Minor crack in front porch slab.



Minor crack in front porch slab.

## 5. Patios/Decking/Porches - Weather Protected Outlet(s)

### Maintenance

There are one or more exterior outlet covers that are damaged or are not functional. Recommend repair or replacement by a qualified specialist.



Exterior outlet cover missing on North side.



Exterior outlet cover missing in back.

## 6. Main Entry Door - Weather Strip

### Maintenance - Damaged Weather Strip

Consideration should be given to repairing or replacing the weather stripping on the main entry door. The weather strip is important for maintaining energy efficiency. Recommend evaluation and repair of the affected weather strip.





Damaged weather strip on bottom of door.



Gap at damaged weather strip.

## 7. Structure - Windows, Latches/Locks

### Action Required - Balance Damaged

There are one or more windows in the structure that have a damaged or disconnected sash balance. This condition stresses the remaining balance as applicable or may not stay in the up position and can lead to unexpected failure of the window and injury. Recommend repair by a qualified window specialist for safety.



Balanced damaged.

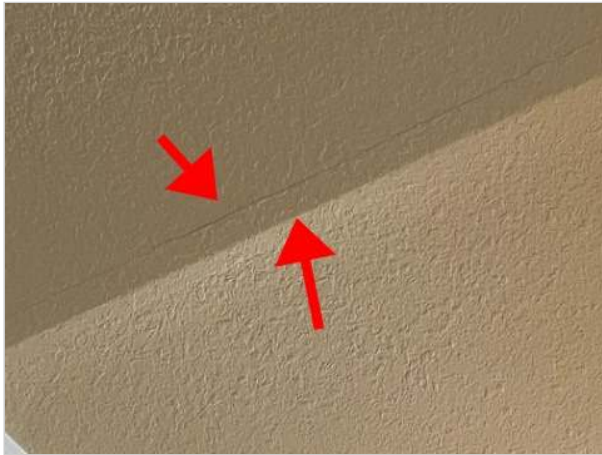


Affected primary bedroom window.

## 8. Structure - Interior Walls

### Maintenance

There are visible blemishes in the ceiling. These areas appear to be nail pops, drywall peeling and hairline cracks and as the structure settles more cosmetic blemishes may develop. The blemishes are considered cosmetic and do not appear to represent a condition that is in need of attention at this time. For further information, recommend questioning the seller as to the nature of the blemishes.



Drywall tape peeling in LR ceiling.

## 9. Kitchen(s) - Dishwasher

### Attention

The dishwasher is not draining properly. Recommend evaluation and repair of the dishwasher drain by a qualified specialist.



Blinking lights on this model indicates problem with dishwasher.



Unit not draining properly.

## 10. Bathroom(s) / Washroom(s) - Sink/Fixtures

### Maintenance

The guest bathroom sink handle leaks in the open position. Recommend evaluation and repair by a qualified specialist.





Handle leaks.

## 11. Attic - Insulation

### Maintenance - Missing Insulation

There appears to be areas in the attic space that do not have proper insulation or the insulation has been disturbed/damaged. Although most areas did have the proper insulation, the identified areas should be repaired for proper energy efficiency. Recommend repair or replacement of the insulation in the affected areas by a qualified specialist.



Missing insulation.



Missing insulation.

## 12. Attic - Inaccessible Areas

### Yes - Stored Items

There was a significant amount of stored items in the attic that limited the inspectors ability to inspect all areas of the attic. A truss constructed attic of this type is not suitable for storage because the bottom member of a typical truss (referred to as a cord) is not designed to support a storage load. The cord is only designed for a dead load of 10 pounds per square foot. The truss will support its own weight, the gypsum ceiling below, insulation and light fixtures. It is not designed to support the weight of stored objects.





Stored items over the garage.

### 13. Central Heating and Cooling - Filter Condition

#### Maintenance - Dirty Filter

The HVAC system filter(s) dirt build up warrants replacement at this time. Recommend changing or cleaning the filter(s) every 90 days or per manufacturer recommendation.



Filter is dirty.

### 14. Central Heating and Cooling - Service Notes

#### Maintenance

There does not appear to be any visible posted service notes of recent documented service of the HVAC system. Recommend a qualified HVAC technician perform a service cleaning, tune-up, full unit evaluation and a review of the heat exchangers and A/C or heat pump unit at this time. Furnaces and cooling units need annual service and cleaning as a health and safety consideration.

### 15. Electrical Service - Outlets, Switches, Junction Boxes, Lighting

#### Action Required - Damaged/Loose

There are one or more outlets that are damaged, loose or not functional. This condition could lead to electrical shock. Recommend evaluation and repair by a licensed electrician.



Loose outlet in primary bedroom West wall.

## 16. Attached Garage - Floor/Foundation

### Maintenance - Minor Cracks

The concrete floor has minor cracks. All concrete is subject to cracks and chips, this is a natural part of the process of settling. Recommend monitoring and application of an epoxy sealant or concrete caulking.



Minor crack in garage floor.

# FULL REPORT



## Utility Services

### 1. Electrical Services

#### Overhead

The overhead service line.



### 2. Water Source

#### Well

The well access is located in the back of the structure. A well water test was not ordered or conducted at the time of inspection. Annual inspection and testing of well water is recommended for health and safety.



Well head and plumbing.



Well expansion tank.

### 3. Water Shutoff

#### Exterior side

The main water shut off valve for the residence on exterior North side.



#### 4. Sewer Septic

The structure has a private onsite wastewater sewage (Septic) system that typically consists of a tank, leach field, and related components. The septic access lid or plate was not located. Inspection of a septic system was not conducted as it lies beyond the scope of practice. All septic tanks should be inspected and pumped out every 5 - 8 years as a preventative maintenance, depending on usage, in order to prevent tank sludge from entering the drain field. These systems can be expensive to replace and routine maintenance is vital for proper function. Recommend the septic system be evaluated and if indicated, repaired or serviced by a licensed septic contractor.

#### 5. Sewer Line Clean-out Exterior

Sewer Clean-out access.



#### 6. Gas Service Propane

Propane Gas regulator/meter/tank.





## Roof

### 1. Roof Evaluated From

Aerial Drone

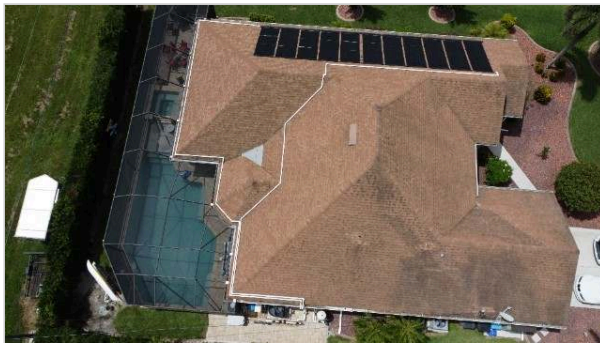
The roof cover was evaluated from the air, via a remote operated drone. Video of the roof cover can be viewed here:

Click: <https://youtu.be/0e8LimBJt2k>

### 2. Roof Cover Material(s)

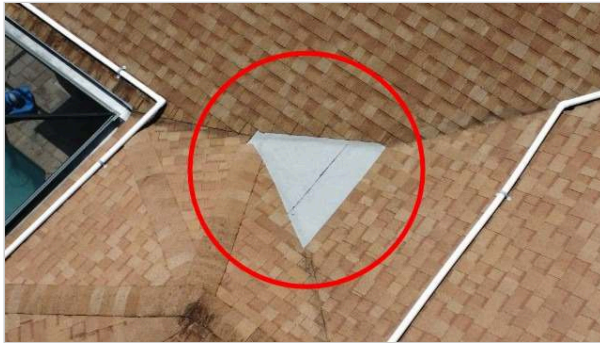
Multiple Types

The roof is predominantly covered with architectural (also called dimensional) composition asphalt shingles. Architectural shingles are composed of a fiberglass mat embedded in asphalt and covered with ceramic-coated mineral granules and have a distinctive textured appearance. The service life expectancy is typically up to 30 years.



Asphalt roll roofing or membrane is a roofing material commonly used for buildings that feature a low sloped roof pitch in North America. The material is based on the same materials used in asphalt shingles; an organic felt or fiberglass mat, saturated with asphalt, and faced with granular stone aggregate.





### 3. Apparent Number of Layers

Appears to be 1 Layer

### 4. Cover Material Condition

Attention

*Although the asphalt composition shingles covering the roof of this structure are not new, they appear to be in generally serviceable condition at the time of the inspection. However, Florida insurance regulations vary and generally roof covers older than 15 years may not be approved for insurance coverage although the shingles have not reached the end of manufacture service life. Recommend checking with your insurance carrier in this regard and further evaluation by a licensed roofer.*

*There are areas of the roof cover that appear to have been previously repaired or replaced. Additionally, there are dry moisture stains under these repaired areas in the attic space. It appears a past leak at the dryer vent may have been repaired. Recommend questioning the seller as to the nature of the repairs and if indicated further evaluation by a licensed contractor.*

### 5. Indications of Leaking

No

At the time of the inspection, no evidence was found that the roof system is currently leaking.

### 6. Flashing/Caulking

Functional

Proper sealing of flashing and pipes is critical in keeping rain water from penetrating into the attic. All sealant and flashing should be inspected annually as a preventative maintenance measure.

### 7. Vents/Chimneys/Covers

Functional

Inspection did not reveal any problems with the vents that would require service at this time. However, a program of regular inspections and periodical maintenance is recommended for long term service.

### 8. Debris on Roof

None

There was no significant debris build up on the roof at the time of the inspection. Debris build up should be cleaned off the roof surface on an annual basis as a proper care and maintenance recommendation.

### 9. Moss/Mildew

None

Recommend inspecting the roof system for moss growth on an annual basis. Products that prevent growth can be purchased at a local hardware store or home improvement center.

### 10. Gutters/Down Spouts

Functional

The roof gutter system appears to be in serviceable condition. A program of regular maintenance to ensure the gutters are free and clear of debris is recommended for proper service.

# Standard Full Home Inspection Details

(Italicized comments also appear in the summary report)

## 11. Drains/Splash Blocks

Functional

The inspection of the downspout drains or splash blocks appear to show they are providing the intended service. It is important to keep the drains and/or splash blocks clear and functional so that they do not overflow next to the foundation's perimeter.

## Structure Perimeter Exterior

### 1. Address Identification

Yes

### 2. Mail Box

Functional

There is a functional U.S. Postal service mail box on the property.

### 3. Foundation Material(s)

Concrete

### 4. Visible Cracks

No

### 5. Evidence of Movement

No

### 6. Site Drainage

Satisfactory

The grading around the exterior of the structure is either level or sloping away from the foundation.

### 7. Evidence of Erosion

No

### 8. Proper Earth-Wood Clearance

Yes

Inspection around the perimeter of the structure does not show any contact of earth to wood. There should be no contact between the earth and the exterior surface material to prevent wood deterioration and a conducive condition for pest infestation.

### 9. Vegetation Clear from Structure

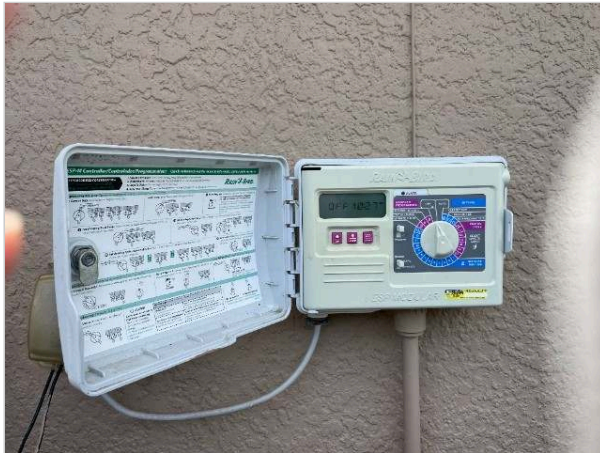
Yes

There is no vegetation growing up against the exterior surface material. All vegetation should be kept trimmed at least 6-12 inches away from the structure to eliminate a common avenue for pest infestation and damage to the exterior structure material.

### 10. Watering System

Yes

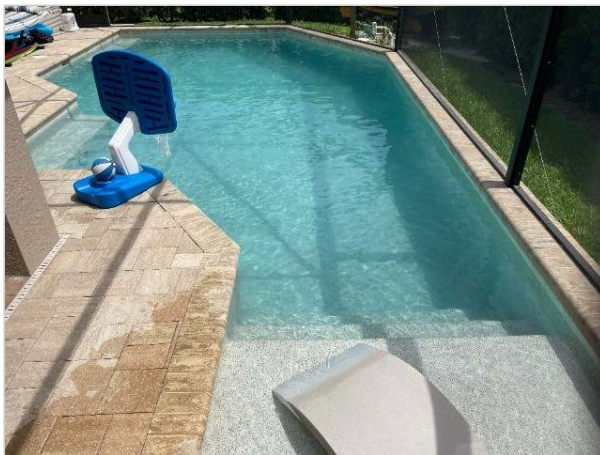
The structure appears to be equipped with an automatic watering system that adds a positive aspect to the property. Testing the system is not within the scope of the inspection. The systems functionality is unknown. Recommend checking with the seller concerning the operation of the system.



## 11. Aquatic Safety Devices Installed

### Pool or Spa Present

Pool / Spa Safety is very important. Every effort should be made to learn about aquatic safety in the residential setting. Your pool / spa should be assessed for safety and drowning prevention techniques on a regular and annual basis. Recommend checking with the seller to find out which company built the pool/spa, as well as checking on any warranty information, maintenance records and operation instructions.



## Exterior Structure

### 1. Flat Surface Material(s)

#### Stucco

The structure siding appears to predominantly be covered by stucco. Stucco is used as an exterior cement plaster wall covering. It is usually a mix of sand, Portland cement, lime and water, but may also consist of a proprietary mix of additives including fibers and synthetic acrylics that add strength and flexibility. Modern synthetic stucco can be applied as one base layer and a finish layer, which is thinner and faster to apply, compared to the traditional application of three-coat stucco. The service life of stucco is generally up to 50 years.



# Standard Full Home Inspection Details

(Italicized comments also appear in the summary report)



## 2. Siding Condition

Maintenance - Damaged Siding

*One or more areas of the siding are damaged and should be repaired to prevent moisture and pest intrusion. Recommend repair by a qualified specialist.*

## 3. Exterior Columns/Support structures

Functional

## 4. Painted Surfaces

Functional

## 5. Eave/Soffit Areas

Functional

## 6. Fascia Boards/Trim

Functional

## 7. Caulking Structure

Maintenance - Utility Gaps

*There are utility penetration(s) into the structure that have gaps and should be caulked or sealed to prevent moisture and pest intrusion. Recommend adding silicone or similar all weather caulking or sealant to all utility gaps*

## 8. Double Pane Seals/Insulating Windows

Single Pane Windows

The structure has one or more single pane windows installed. Single pane windows are constructed with a single pane of glass and a wood or aluminum frame. Modern double pane windows increase energy efficiency by as much as 24% and significantly reduce noise from the outside environment. Consideration should be given to replacing the windows with modern double pane windows for increased efficiency and cost savings. A visual inspection of the windows may not disclose deficiencies in all windows, which may only be visible under certain climatic conditions of the day and time of inspection.

## 9. Window Glass

Functional

## 10. Window Screens

Functional

The existing insect screens are in satisfactory condition.

## 11. Weep Screed

Yes

The stucco siding weep screed is in satisfactory condition. The weep screed is the metal flashing located at the bottom edge of the stucco siding. Weep screed protects the bottom edge of the wall and also allows the wall to drain rain water.

## Patios/Decking/Porches

### 1. Concrete Slab

Maintenance - Cracks

*One or more areas of the concrete has cracks. Cracks less than 1/8th of an inch and less than 18 inches in length are generally considered minor. All concrete is subject to cracks and chips. This is a natural part of the process of being exposed to the elements and settling. Recommend monitoring and application of an epoxy sealant or polyurethane caulking as needed.*

### 2. Surface(s)

Satisfactory

The patio is in a functional condition.

### 3. Foundation/Framing

Satisfactory

The foundation is in satisfactory condition on the areas of the deck underside and foundation that were visible.

There are areas under the deck that could not be seen or accessed due to obstruction. A unknown condition may exist.

### 4. Cover/Enclosure

Functional

The lanai cover appears to be in functional condition.



### 5. Electrical Service

Yes

### 6. Weather Protected Outlet(s)

Maintenance

*There are one or more exterior outlet covers that are damaged or are not functional. Recommend repair or replacement by a qualified specialist.*

### 7. Lights

Satisfactory

## Main Entry Door

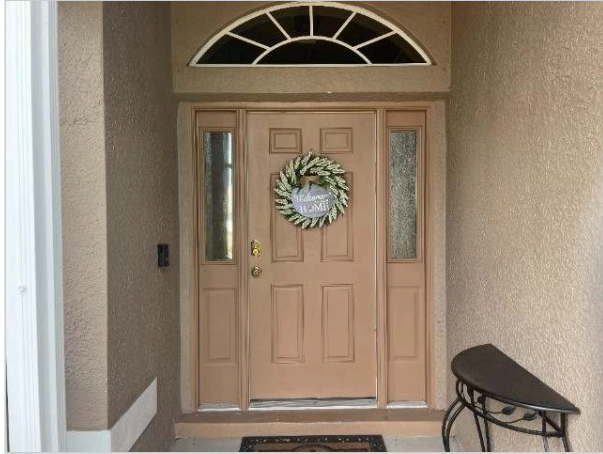
### 1. Correct Application

Yes

# Standard Full Home Inspection Details

(Italicized comments also appear in the summary report)

The main entry door appears to be of proper construction and application.



**2. Finish**

Functional

**3. Door Fit**

Functional

**4. Weather Strip**

Maintenance - Damaged Weather Strip

*Consideration should be given to repairing or replacing the weather stripping on the main entry door. The weather strip is important for maintaining energy efficiency. Recommend evaluation and repair of the affected weather strip.*

**5. Locks**

Yes

**6. Door Chime**

Functional

**7. Lighting**

Satisfactory

**8. Storm/Screen/Doors**

Functional

This structure is equipped with a storm/screen door that should provide the occupants with additional comfort and security.

**Other Ext. Entry Doors**

**1. Location(s)**

Living Room

Back door.



# Standard Full Home Inspection Details

(Italicized comments also appear in the summary report)



- 2. **Finish**  
Satisfactory
- 3. **Door Fit**  
Functional
- 4. **Weather Stripping**  
Functional
- 5. **Locks**  
Functional
- 6. **Lighting**  
Satisfactory

## Structure

- 1. **Approximate Year Built**  
Approximate Year Built 2006
- 2. **Description**  
Wood Framed
- 3. **Bedroom(s)**  
Bedroom(s) 4
- 4. **Bathroom(s)**  
Bathroom(s) 2
- 5. **Roof Structure**  
Roof Trusses
- 6. **Exterior Walls**  
Functional
- 7. **Windows, Latches/Locks**  
Action Required - Balance Damaged  
*There are one or more windows in the structure that have a damaged or disconnected sash balance. This condition stresses the remaining balance as applicable or may not stay in the up position and can lead to unexpected failure of the window and injury. Recommend repair by a qualified window specialist for safety.*
- 8. **Floor Structure**  
Functional

# Standard Full Home Inspection Details

(Italicized comments also appear in the summary report)

## 9. Interior Walls

Maintenance

*There are visible blemishes in the ceiling. These areas appear to be nail pops, drywall peeling and hairline cracks and as the structure settles more cosmetic blemishes may develop. The blemishes are considered cosmetic and do not appear to represent a condition that is in need of attention at this time. For further information, recommend questioning the seller as to the nature of the blemishes.*

## 10. Ceiling Structure

Functional

## 11. Other Room(s)

Functional

## 12. Interior Doors

Functional

## 13. Interior Stairway Structure

N/A

## 14. Interior Ventilation Method

Combination

Ventilation includes kitchen, bathroom and structure fans or vent systems as applicable.

## 15. Furniture/Storage

Average

Furnishings and storage items are average for an occupied residence/structure. Notation is made that furniture, storage and personal items are not moved by the inspector to perform the inspection. Unseen conditions may exist due to stored items and furniture.

## 16. Smoke Detector(s)

Functional

The accessible smoke detectors' alarms were tested and found to be functional at the time of the inspection. This is not an evaluation to determine if each unit is capable of detecting smoke. Any units greater than 10 years of age should be replaced as they are considered to be at the end of their service life. Recommend testing the units every month to identify the functional operation of each detector and changing the battery annually. All dwellings should have at least one functioning smoke alarm installed outside each sleeping area, and on each level of the structure.



## 17. Alarm/Security System

Installed

# Standard Full Home Inspection Details

(Italicized comments also appear in the summary report)

The structure is equipped with a security system that can provide added safety. The system was NOT tested under the standard of practice and scope of the inspection and it's operation is unknown. Recommend check with the seller on the use and operation of the system.



**18. Evidence of Undesirable Animals**

No

**19. Asbestos Noted**

N/A

The scope of this inspection does not include an asbestos in materials sampling inspection.

**20. Lead**

N/A

The scope of this inspection does not include a lead in materials sampling inspection.

**21. Radon Mitigation System Installed**

No

**Kitchen(s)**

**1. Floor Cover Material**

Functional

**2. Ceiling/Walls/Doors**

Functional

**3. Counter Tops**

Satisfactory

**4. Drawers/Doors**

Functional

**5. Woodwork Finishes**

Satisfactory

**6. Sink/Faucet**

Functional

**7. Kitchen Fixtures**

Functional

**8. Under Sink Inspection**

Functional



# Standard Full Home Inspection Details

(Italicized comments also appear in the summary report)

## 9. Drains Appear Clear

Yes

The water was run for several minutes and the drain appears to be clear at this time.

## 10. Water For Refrigerator

Yes

There is a water connection in the area of the refrigerator. This water supply is required for automatic ice machines and water dispensers. Note: the refrigerator, if present, was not inspected as it is beyond the scope of practice.



## 11. Stove Exhaust Fan

Not Installed

There is no stove exhaust fan installed.

## 12. Stove/Cook Top

Electric

## 13. Cook top, Burners/Elements

Functional

All heating elements appear to be functional when powered on.



## 14. Built-in Microwave Operational

Yes

An on/off check of the microwave was performed to determine if it is operational. The full extent of its functions or ability to cook are not within the scope of the inspection and therefore are not known. The recommend service life of a microwave oven is 9 years.

# Standard Full Home Inspection Details

(Italicized comments also appear in the summary report)



15. **Oven**  
Electric

16. **Oven Operational**  
Yes

The double oven was powered on and appears to function as intended. A full evaluation of the oven's features is beyond the scope of this inspection and therefore not known. The recommended service life of an electric oven is 13-15 years and a gas oven is 10-18 years.



17. **Garbage Disposal**  
Not Installed

A garbage disposal system is not installed.

18. **Dishwasher**  
Attention

*The dishwasher is not draining properly. Recommend evaluation and repair of the dishwasher drain by a qualified specialist.*

19. **Lighting**  
Functional

## Laundry Area

1. **Location**  
Adjacent to Kitchen

# Standard Full Home Inspection Details

(Italicized comments also appear in the summary report)

## 2. Floor Condition

Satisfactory

The visible portions of the laundry area flooring appear to be in a functional condition.

Note: The washer and dryer are not moved to inspect behind or under them which is beyond the scope of the standards of practice as damage to the floor may result. A visual inspection of the readily accessible portions of the floor was performed.



## 3. Ceiling/Walls/Doors

Satisfactory

## 4. Washer Hookup(s)

Yes

The hookups for the washer were present and appear functional. Testing of the connection and inspection of the clothes washer if present is beyond the scope of the standards of practice. The service life of a clothes washer is 12-16 years.



## 5. Drain(s)

Not Tested

## 6. Dryer Hookup(s)

Yes

There is a 240 volt electrical service outlet in the laundry area and it appears functional. Testing of the connection and inspection of a clothes dryer if present is beyond the scope of the standards of practice. Clothes dryers have a service life of 8-14 years.



# Standard Full Home Inspection Details

(Italicized comments also appear in the summary report)



## 7. Dryer Ventilation System

Functional

Dryer maintenance should include periodic evaluation of the air flow at the dryer outlet. One-half inch of lint build up will reduce venting capabilities by 40%. Recommend dryer vent duct cleaning if low flow is noted. Testing and evaluation of the system is beyond the standards of practice and was not conducted. Please be advised that the vast majority of the dryer vent system is NOT visible. An unknown condition may exist.

## 8. Laundry Basin

N/A

## 9. Lighting

Functional

## Bathroom(s) / Washroom(s)

### 1. Location(s)

Primary and Guest

For the client's ease of reading, the information for all full bathrooms are combined into this one section.

### 2. Floor Cover

Functional

### 3. Ceiling/Walls/Doors

Functional

### 4. Sink Drain

Functional

The conditions noted under the bathroom sink represent a functional condition.

### 5. Sink/Fixtures

Maintenance

*The guest bathroom sink handle leaks in the open position. Recommend evaluation and repair by a qualified specialist.*

### 6. Medicine Cabinet/Vanity

Functional

### 7. Toilet(s)

Functional

The toilets were inspected for cracks and serviceability. Each toilet should be inspected periodically for indications of cracking in the toilet bowl, tank, and base.

## 8. Ventilation

Functional

## 9. Tub/Shower Drain(s)

Functional

## 10. Shower Fixtures

Functional

## 11. Shower/Tub Enclosure(s)

Functional

## 12. Caulking - Water Exposed Area

Functional

The caulking in the bathroom appears to be providing adequate protection to the structure. Water leaking through non-sealed areas can cause structural damage. Caulking should be maintained to continue protection.

## Attic

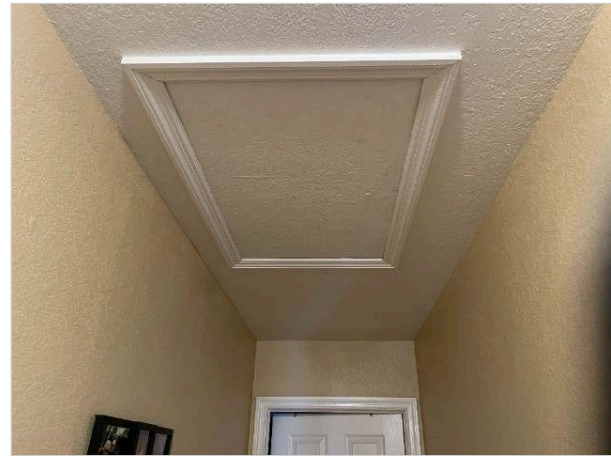
### 1. Access Location/Type

Garage / Hallway

### 2. Access

Satisfactory

The attic opening appears to provide for adequate access .



### 3. Insulation

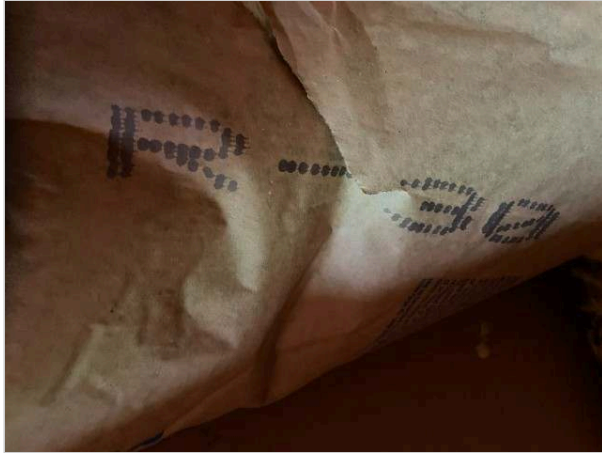
Maintenance - Missing Insulation

*There appears to be areas in the attic space that do not have proper insulation or the insulation has been disturbed/damaged. Although most areas did have the proper insulation, the identified areas should be repaired for proper energy efficiency. Recommend repair or replacement of the insulation in the affected areas by a qualified specialist.*

The attic is insulated with fiberglass battens. Fiberglass batts has an insulation "R" value written on the underside of the material. Residential attics in zone 2 generally should have an attic insulation value of at least 30.

# Standard Full Home Inspection Details

(Italicized comments also appear in the summary report)



R-30 attic insulation.

#### 4. Attic Evaluated By

Entrance

#### 5. Inaccessible Areas

Yes - Stored Items

*There was a significant amount of stored items in the attic that limited the inspectors ability to inspect all areas of the attic. A truss constructed attic of this type is not suitable for storage because the bottom member of a typical truss (referred to as a cord) is not designed to support a storage load. The cord is only designed for a dead load of 10 pounds per square foot. The truss will support its own weight, the gypsum ceiling below, insulation and light fixtures. It is not designed to support the weight of stored objects.*

#### 6. Light Thru

No

The inspection of the attic space found no evidence of gaps or "light thru".

#### 7. Ventilation

Functional

#### 8. Duct Work Piping

Satisfactory

The visible portions of the duct work and piping appear to be in satisfactory condition; however, there may be some minor air leaks in the system that were not detected at the time of inspection. Sealing air leaks when they become apparent is recommended.

#### 9. Exposed Rafters/Sheathing

Yes

The roof rafters and sheathing in the visible areas of the attic appear to be providing functional service at this time.





## 10. Roof Inspect from Underside

Yes

The underside of the roof was inspected and found to be serviceable.



## 11. Framing condition

Functional

The framing members in the accessible portion of the attic appear to be functional.



## Central Heating and Cooling

# Standard Full Home Inspection Details

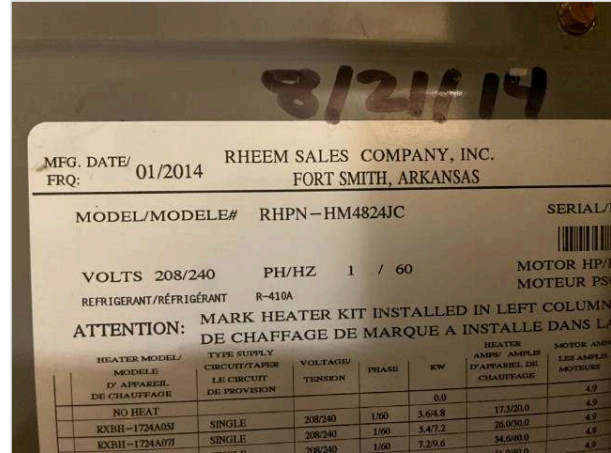
(Italicized comments also appear in the summary report)

## 1. Heat Source/Type(s)/Info

Electric Forced Air

Manufacture date: January 2014

The installed furnace is a electric furnace. Inside the unit there are three to seven heated electric resistance coils or “elements,” which are sized according to the kilowatts of power consumption of the unit. An electric furnace moves air over and through a series of heated coils. It then distributes this air throughout via the system of duct work and vents. Although their operating costs are slightly higher, an electric furnace is cleaner and generally easier to maintain. The service life of an electric furnace is 15-20 years depending on the model.



## 2. Cooling System Type

Heat Pump

Manufacture Date: January 2012

A heat pump is an air conditioner with an installed reversing valve. The unit acts as an air conditioner in the summer and a reverse air conditioner in the winter. So, during the summer, the heat pump extracts heat from your indoor air making it cool, transfers the heat through the refrigerant and releases it to the outside. The service life is 10-15 years.



## 3. Unit Location(s)

Exterior & Utility Closet

## 4. Energy Source

Electric - 240 Volts

# Standard Full Home Inspection Details

(Italicized comments also appear in the summary report)

**5. Power Disconnect Location**

At or Near the Unit

**6. Thermostat Condition**

Functional

**7. Thermostat Location(s)**

Hallway

The thermostat faceplate.



**8. On/Off Check**

Functional

**9. Operation Noise**

Functional

**10. Appearance or Condition of Units**

Functional

**11. Filter Condition**

Maintenance - Dirty Filter

*The HVAC system filter(s) dirt build up warrants replacement at this time. Recommend changing or cleaning the filter(s) every 90 days or per manufacturer recommendation.*

**12. Supply and Return Duct Condition**

Functional

The supply and return ducts and vents appear functional. Note: Testing for microbial growth in the supply and duct work was not completed and is beyond the scope of the standards of practice. Presence of microbial growth can only be determined by a sampling the suspected growth.

**13. Service Notes**

Maintenance

*There does not appear to be any visible posted service notes of recent documented service of the HVAC system. Recommend a qualified HVAC technician perform a service cleaning, tune-up, full unit evaluation and a review of the heat exchangers and A/C or heat pump unit at this time. Furnaces and cooling units need annual service and cleaning as a health and safety consideration.*

**Water Heater**

**1. Location(s)**

Garage



# Standard Full Home Inspection Details

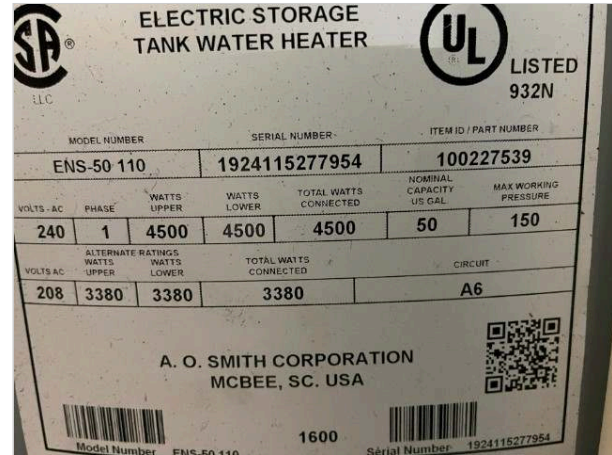
(Italicized comments also appear in the summary report)

## 2. Type

Electric

Manufacturer Date: July 2019

The life expectancy of an electric water heater is typically 8-12 years from the date of installation, although there are exceptions on both sides. As a preventative maintenance recommendation, it is recommended that water heaters be drained periodically to remove sediment buildup in the tank. The recommended setting for a residential water heater is 120 degrees Fahrenheit.



## 3. Size Main/Aux (Gal)

Approximately 50 US Gallons

## 4. Evidence of Leaks

No

There was no visible leak in the water heater tank. Inspecting the water heater periodically for evidence of moisture and corrosion is recommended.

## 5. Evidence of Encrustation

No

## 6. Safety Valve

Installed

The water heater is equipped with a temperature and pressure relief valve as required. The valve lever should be operated per manufactures recommendations to ensure that waterways are clear. Naturally occurring mineral deposits may adhere to the valve, rendering it inoperative. If water does not flow freely when the lever is operated, replacement of the valve is recommended.



## 7. Discharge Pipe

Functional

There is a discharge pipe connected to the temperature/pressure relief valve as required. The pipe is installed to prevent someone from being sprayed with hot water in the event that the valve discharges. Discharging of a valve is uncommon and indicates that the water heater is in need of service or the relief valve is in need of replacement.

## 8. Installation

Functional

## Plumbing

### 1. Size Service to Structure

3/4 Inch

### 2. Structure Pipe Material

PVC/CPVC

PVC is a light-colored, highly durable plastic that resists the elements and is a long lasting pipe compared with other piping materials. PVC is made in several different grades: schedules 40 and 80 and chlorinated polyvinyl chloride (CPVC). The service life is generally 50 - 80 years.

### 3. Surge Bangs

No

### 4. Mineral Deposits

No

### 5. Waste Pipe Material

Plastic

### 6. Evidence of Leaks

No

An inspection of the readily accessible sections of the plumbing water supply, waste pipes, faucets and fixtures identified no visible leaks that require repair at this time. A program of regular inspection by the owner should be considered in order to identify any visible leaks prior to causing any substantial damage.

### 7. Soft Water System

Installed

There is a soft-water system in this structure.



## 8. Filter System

Installed

There appears to be an active whole home water filtering system.



## 9. Water Temperature - At Fixture

Satisfactory

## 10. Interior Water Flow

Functional

## 11. Exterior Water Flow

Functional

## Electrical Service

### 1. Panel/Sub-Panel Location(s)

Garage

### 2. Service Size (Amps)/(Volts)

200 Amps -240 Volts

### 3. Over Current Devices

Breakers

### 4. Service Ground Verified

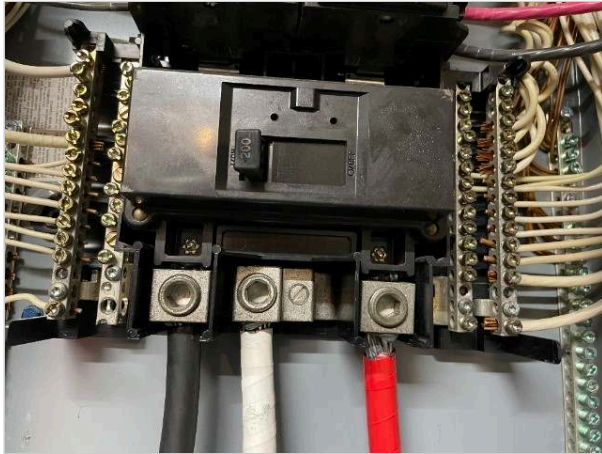
Yes



## 5. Service to Panel

Aluminium

The wiring service to the panel.



## 6. Panel to Structure

Copper

## 7. Panel Cover

Functional

## 8. Panel Cover(s) Removed

Yes

The face plate of the electrical panel was removed at one or more of the electrical panels to provide the inspector visual access for verification.



## 9. Breaker Configuration

Functional

## 10. Wire-Over Current Compatibility

Functional

## 11. Receptacle Ground Verify

Functional

A representative number of installed outlets, switches, and lighting fixtures were tested in the structure and found to be functional. Testing of every light, outlet and a full measure of each outlet or switches amperage, voltage or impedance is beyond the standards of practice.

# Standard Full Home Inspection Details

(Italicized comments also appear in the summary report)

## 12. G.F.C.I. Protection

Yes

Current electrical code requires that ground fault interrupters (GFCI) outlets be located in areas where there is a potential danger of electrical shock. This includes bathrooms, kitchens, garage areas and the exterior. This property has GFCI protection.

## 13. Outlets, Switches, Junction Boxes, Lighting

Action Required - Damaged/Loose

*There are one or more outlets that are damaged, loose or not functional. This condition could lead to electrical shock. Recommend evaluation and repair by a licensed electrician.*

A representative number of installed outlets, switches, and lighting fixtures were tested in the structure and found to be functional. Testing of every light, outlet and a full measure of each outlet or switches amperage, voltage or impedance is beyond the standards of practice.

## 14. Wire Method

Romex

The wiring appears to be new plastic insulated or "Romex/NM" wiring.

## 15. Arc Fault Breakers (A.F.C.I.)

Installed

An Arc Fault Circuit Interrupter (AFCI) is a circuit breaker that breaks the circuit when it detects an electric arc in the circuit it protects to prevent electrical fires. An AFCI selectively distinguishes between a harmless arc (incidental to normal operation of switches, plugs, and brushed motors), and a potentially dangerous arc (that can occur, for example, in a lamp cord which has a broken conductor). This structure has installed AFCI.



## Attached Garage

### 1. Size

Two Car

Exterior of the garage.



## 2. Floor/Foundation

Maintenance - Minor Cracks

*The concrete floor has minor cracks. All concrete is subject to cracks and chips, this is a natural part of the process of settling. Recommend monitoring and application of an epoxy sealant or concrete caulking.*

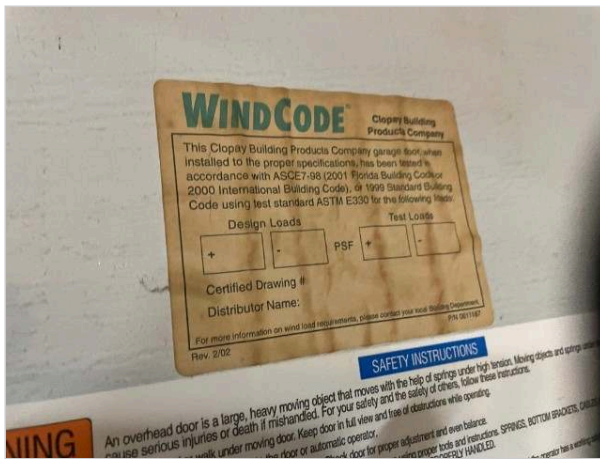
## 3. Fire Wall/Ceiling Board

Functional

## 4. Garage Door(s)

Functional

The garage door is in a functional condition. While a garage door has a service life expectancy of 20-25 years, an automatic garage door opener can be expected to last 8-12 years.



## 5. Automatic Opener(s)

Functional

The automatic garage door opener(s) were determined to be in working order at the time of the inspection. The service life of a garage door opener is generally 8-12 years.

## 6. Door Seal

Functional

The seals of the garage door(s) appears to be in functional condition and should provide for intended service.

## 7. Safety Operation, Opener(s)

Functional

The automatic opener safety feature(s) appear to function properly. Periodic adjustment is often needed as the unit ages. Monthly testing of these features is recommended. This garage is equipped with safety feature(s).