



**Prepared For:** XX XX XX

**Property Address:** Avon, IN 46123

**Inspector:** Scott Hossack  
**Company:** Indiana Inspection Services Inc.  
dba WIN Home Inspection Fishers  
(317) 900-7714  
shossack@wini.com

**Services Included in this Report:**

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Extended Full Home Inspection  
Radon Testing, Pool Inspection

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## WIN Home Inspection

### Extended Full Home Inspection

This report contains confidential information and is supplied solely for use by the client(s) of:

Indiana Inspection Services Inc. dba WIN Home Inspection Fishers  
14963 Newburyport Drive, Fishers, Indiana 46038  
(317) 900-7714 <https://fishers.wini.com>

**Work Order Number:** 14898109

**Service Date:** 7/11/2023

**Time:** 9:00 AM

**Site Address:**

Avon, IN 46123

**For the purpose of this inspection, the Main Entry Door faces: Southwest**

**Site Information:**

**Weather:** 78 °F - Sunny

**Approximate Year Built:** 2012

**Structure:** SF - Wood

**Foundation:** Basement

**Bedrooms:** 6

**Bathrooms:** 4.5

**Floors:** 3

**Occupied:** Yes

**Approximate Square Footage:** 7800

**Client:**

**Name:** XX XX XX

**Address:**

**Work Phone:**

**Home Phone:**

**Mobile Phone:** (XXX) XXX-XXXX

**Email Address:** xxxxxxxx@gmail.com

**Client Present at Inspection:** Yes

**Buyer's Agent:**

**Name:** Justin Bryant

**Company:**

**Address:**

, IN

**Phone:** (317) 607-4455

**Email:** jlbryant@highgarden.com

**Buyer's Agent Present at Inspection:** Yes

**Seller's Agent:**

**Name:** Dana McGuire

**Company:** Redfin Corporation

**Address:**

, IN

**Phone:** (317) 556-6674

**Email:** dana.carrell@redfin.com

**Seller's Agent Present at Inspection:** No

**Inspector:**

Scott Hossack

**License / Certification:** HI02000051

**Email:** shossack@wini.com

Indiana Inspection Services Inc.  
dba WIN Home Inspection Fishers

**Notes:**

The inspection is considered preliminary in nature and the inspector may make recommendations for further evaluation by an individual who is an expert or specialist in one or more specific building components or systems. Testing, measuring, or preparing calculations for any system or component to determine adequacy, capacity, or compliance with any standard is outside the scope of practice for this inspection. Not all improvements or deficiencies will be identified during this inspection. NO INSPECTION CAN WHOLLY ELIMINATE THE UNCERTAINTY REGARDING THE PRESENCE OF PHYSICAL DEFICIENCIES AND THE PERFORMANCE OF THE BUILDING'S SYSTEMS. The inspection and report are intended to reduce, but not eliminate, the uncertainty regarding the potential for component or system failure and to reduce the potential that such component or system may not be initially observed.

All repairs, further evaluations or suggestions noted in this home inspection report should be performed prior to the close of an escrow to minimize any unforeseen issues. Unexpected repairs should be anticipated as part of owning a home.

Acceptance of this report constitutes agreement to the terms of the Inspection Agreement, whether or not signatures or initials have been obtained. A copy of the Inspection Agreement is provided and attached to the report. The findings in the report are solely intended for our direct client listed on this report. We are not liable for the findings to any other party relying on this report, except for the client listed. If this report is to be used in the sale/purchase of the property by someone not named as the client, we recommend you contact our office to schedule a re-inspection or new inspection of the property in case findings have changed and/or to validate the report. You may also consider contacting another home inspection company for their opinions of the property. The report should be reviewed by the client in it's entirety.

Excluded from this inspection is any system, structure or component of the building that is inaccessible, concealed from view, or cannot be inspected due to circumstances beyond the control of the inspector. Also excluded are: Engineering analysis of any kind including structural integrity, system/component design problems, functional adequacy, operational capacity, quality, or suitability for a particular use; building codes, code violations, clearances, etc.; operation of shut-offs, breakers, valves, etc.; cracked heat exchangers in furnaces/boilers; non-installed appliances or stand alone appliances; water testing for roof, wall or window leaks; concealed roofing membrane integrity; concealed floor cracks and all underground components; product recalls or other such notices; detection or identification of pests, molds, asbestos, lead, or other hazardous materials; component/system cost estimates or remaining useful life (RUL) estimates; specific components noted in the inspection report as being beyond the scope of the inspection; effects of adjoining/adjacent properties; installation guidelines and manufacturer's specifications.

This inspection was performed in accordance with 878 Indiana Administrative Code 1-2-1 and 1-2-2 and in accordance with the scope and standards of practice of the American Society of Home Inspectors and the International Association of Certified Home Inspectors; both nationally recognized home inspection associations. A copy of these standards is available through the association websites at <https://www.nachi.org/sop.htm> and <https://www.homeinspector.org/>

## NOT A WARRANTY

THE SERVICES PERFORMED, THE AGREEMENT, AND THE REPORT DO NOT CONSTITUTE A WARRANTY, AN INSURANCE POLICY, OR A GUARANTEE OF ANY KIND, NOR DO THEY SUBSTITUTE FOR ANY DISCLOSURE STATEMENT AS MAY BE REQUIRED BY LAW.

There are no warranties made against roof leaks, wet basements, or mechanical breakdowns. The report is NOT a listing of repairs that need to be made. Therefore, you agree NOT to hold us responsible for future failure and repair, or for the non-discovery of any patent or latent defects in material, workmanship, or other conditions of the property which may occur or become evident after the date the services were performed; nor for any alleged non-disclosure of condition that are the express responsibility of the seller of the property. You agree to assume all the risk for conditions which are concealed from view or inaccessible to us at the time that the services were performed.

**THIS REPORT IS INTENDED ONLY FOR THE USE OF THE PERSON PURCHASING THE HOME INSPECTION SERVICES. NO OTHER PERSON, INCLUDING A PURCHASER OF THE INSPECTED PROPERTY WHO DID NOT PURCHASE THE HOME INSPECTION SERVICES, MAY RELY UPON ANY REPRESENTATION MADE IN THE REPORT.**

THIS REPORT IS FOR THE EXCLUSIVE USE OF OUR CLIENT AS NAMED IN THE INSPECTION AGREEMENT. It may not be used or relied upon by any other person unless that person is specifically named by us in the Inspection Agreement as a recipient of this report. Distribution of this report to any third party without the written consent of the inspector and WIN Home Inspection is prohibited. As the client, you agree to maintain the confidentiality of this report and to reasonably protect the report from distribution to any third party. You agree to indemnify, defend and hold us harmless if any third party brings a claim against us relating to the inspection or to this report.

## EXPLANATION OF TERMS

This report was prepared and written with the age and type of structure taken into consideration. Below is an explanation of the terms used in the report.

**FUNCTIONAL:** Items marked Functional appear to be in serviceable condition using normal operating controls. There were no visible indication of failure at the time the services were performed.

**SATISFACTORY:** Items marked Satisfactory appear to be in serviceable condition using normal operating controls. There were no visible indications of failure at the time the services were performed. Items that need minor service that do not significantly affect an item's use may be classified as satisfactory.

**ATTENTION:** Items marked Attention appear to be in need of preventive maintenance or service. Attention may also indicate an item that the inspector would recommend gaining further information from a third party immediately in order to provide additional clarification and/or insight into the item's condition.

**MAINTENANCE:** Items marked Maintenance are in need of repair or replacement in order to make the item functional and/or prevent further deterioration.

**ACTION REQUIRED:** Items marked Action Required appear to be in need of immediate repair or replacement. Delay in repair or replacement may result in a dramatic shortening of the life expectancy of the item, have immediate effect on the item, system, structure, other related items, or present a potential health and/or safety hazard.

**PRESENT:** Items marked Present were visible at the time the services were performed and were not tested or inspected due to either the type of device or access limitations.

**NOT INSPECTED:** Items marked Not Inspected may be present at the time the services were performed and were not inspected due to obstruction, weather condition or the inspection of the item is not within the scope of the services performed.

**N/A:** Items marked N/A are not included in the report. The item may not be present, not included, not accessible, not available, not addressed, not applicable, not appropriate, and/or not examined.

## SUMMARY SECTION

# Extended Full Home Inspection Summary Report

We have identified various items on the subject structure that either require maintenance now or require periodic maintenance in the normal course of ownership. This is only a summary report and is intended as a guide to be used in both short and long term scheduling of maintenance items. Please read the complete report carefully as additional information and details are contained therein. It is always advisable to use experienced tradespeople or a qualified handyperson when contracting for work that may not be within the scope of your capabilities.

## 1. Structure Perimeter Exterior - Vegetation Clear from Structure

### Maintenance

One or more trees are overhanging the roof or in direct contact with the structure. Tree branches overhanging the roof are a hazard. They drop debris, which can damage the roof and may create excessive shade, which may allow the growth of moss or microbial growth. They may allow a common avenue for pest and rodent infestation. Trees can also damage sewer lines when in close proximity. All tree branches should be trimmed as to not overhang the roof and be at least 6 - 12 inches away from the structure exterior. Recommend repair by a qualified arborist.

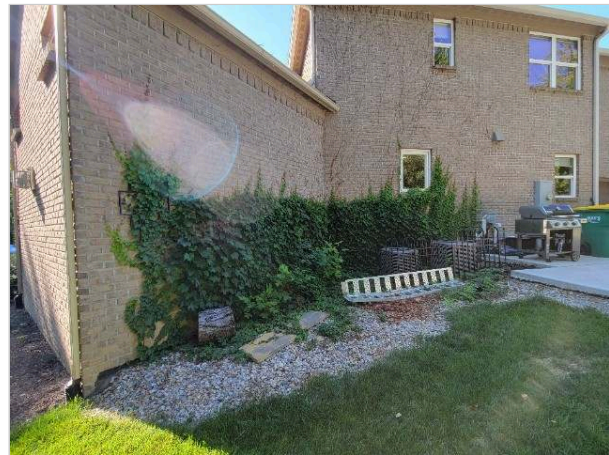


Large tree on SE side is overhanging the roof.

There is vegetation close to or in direct contact with the structure. All vegetation should be trimmed at least 6 - 12 inches away from the structure exterior to prevent damage and to eliminate a common avenue for pest infestation. Vegetation overgrowth may limit the view of the area for the inspector. An unknown condition may exist. Recommend repair by a qualified specialist.



Vines on South corner.



Large cluster of vines on NW side.



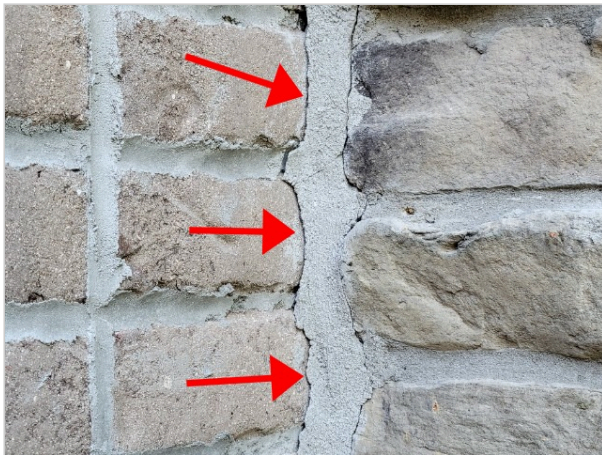


Remnants of dead vines on the structure. NW side.

## 2. Exterior Structure - Siding Condition

### Maintenance - Mortar Defect

One or more areas of the exterior masonry mortar are cracked, damaged or missing. Repair is needed to prevent moisture penetration and further damage. Recommend evaluation and repair by a qualified masonry specialist.



Mortar cracked. Front porch area.



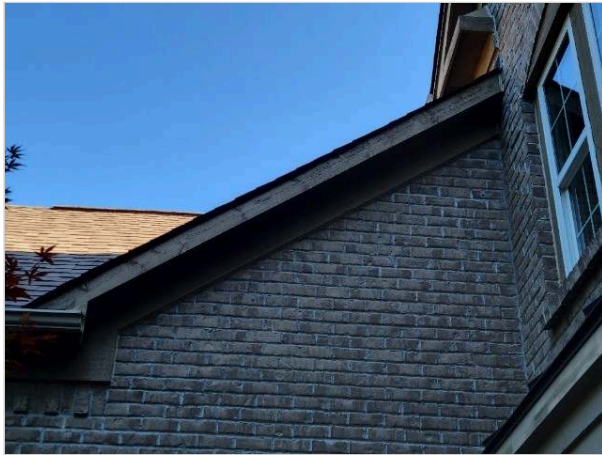
Affected area.

## 3. Exterior Structure - Painted Surfaces

### Maintenance - Weathered/Chipped Paint

The exterior painted surfaces are showing deterioration and/or weathering. These areas are highly susceptible to the elements. Failure to maintain paint integrity may result in damaged trim and moisture penetration issues. Exterior paint has an average service life of 5-7 years. Recommend repair by a qualified specialist. *Note: The pictures below are samples. All affected areas are not shown.*

# Extended Full Home Inspection Summary Report





# Extended Full Home Inspection Summary Report



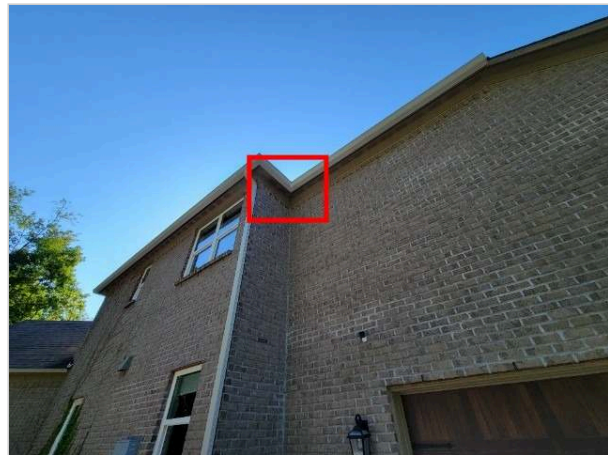
## 4. Exterior Structure - Eave/Soffit Areas

### Maintenance - Soffit Defect

One or more areas of the soffit are damaged, loose, gaped or missing. Repairs are needed to prevent moisture penetration damage and pest intrusion. Recommend repair by a qualified specialist.



Soffit damaged. Above the garage.



Affected area.

## 5. Exterior Structure - Fascia Boards/Trim

### Maintenance - Trim Defect

One or more areas of the trim are damaged, loose, gaped or missing. Repairs are needed to prevent moisture penetration damage and pest intrusion. These areas may be damage from carpenter bees. Recommend evaluation by a qualified exterminator and repair by a qualified contractor.

# Extended Full Home Inspection Summary Report



Front side trim.



Front side trim.

## 6. Exterior Structure - Caulking Structure

### Maintenance - Sealant Needed

One or more areas of the exterior caulking or sealant is damaged or missing. Sealant is vital to prevent pest intrusion and moisture related damage to building materials and requires frequent maintenance. Recommend repair by a qualified specialist. *Note: The pictures below are samples. All affected areas may not be shown.*



Front side. Dining room window trim.



Front side. Dining room window trim.



Front side. Dining room window trim.



Front side. Dining room window trim.



# Extended Full Home Inspection Summary Report



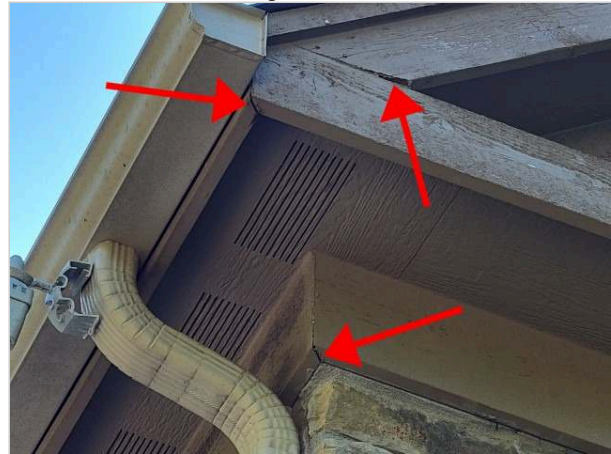
Garage door trim.



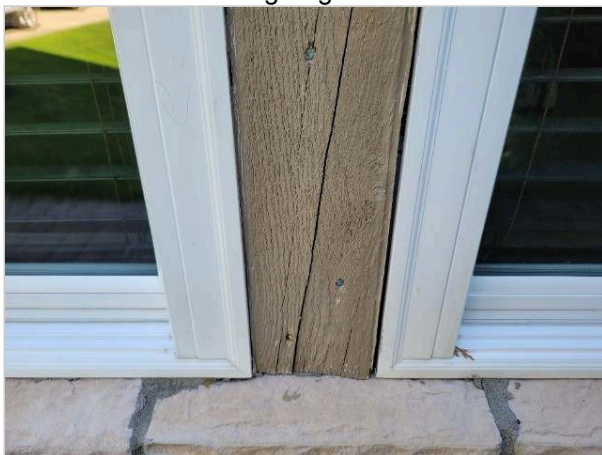
Garage door trim.



Above garage doors.



West corner.



Trim split. Nail heads should be sealed. Front side, garage windows.

## 7. Exterior Structure - Double Pane Seals/Insulating Windows Maintenance - Thermal Seal Failure



# Extended Full Home Inspection Summary Report

One or more double pane insulating glass windows or doors have lost the thermal seal between the panes of glass. There may be condensation, corrosion or deterioration between the panes. This condition can usually be repaired, but replacement may be indicated depending on the cost of repair. A visual inspection of the windows may not disclose deficiencies in all windows, which may only be visible at certain times of the day or under certain meteorological conditions at the time of inspection. Recommend evaluation and repair or replacement by a qualified window specialist.



Basement window. Bottom of stairs.



Basement bedroom.

## 8. Exterior Structure - Window Screens

### Maintenance - Missing Screens

Most of the window screens are missing. Screens were found stored in the basement. Recommend installation or replacement for the desired service by a qualified specialist.





## 9. Roof - Flashing/Caulking

### Maintenance

One or more areas of the drip edge is missing, damaged or installed improperly. Drip edge flashing supports the edges of the shingles, provides resistance to moisture from entering the attic and protects fascia and sheathing from damage. Most roofing cover manufacturers require a drip edge. Recommend repair or installation by a qualified roofing contractor.



No drip edge installed.



Example.

One or more areas of the roof is missing kickout flashing. Where a roof eave (end) meets a vertical wall, kickout flashing is required. Rain water coming down the roof may spill over the gutter onto the exterior wall. This may lead to staining, but can allow moisture to enter the wall behind the siding material, potentially causing extensive damage. Recommend evaluation and repair or installation by a qualified roofing contractor.

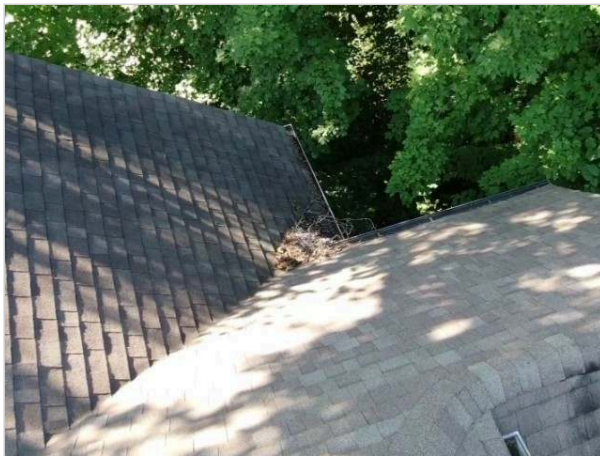




## 10. Roof - Debris on Roof

### Maintenance - Debris

There was debris on the roof at the time of the inspection. Debris should be cleaned off the roof surface as a proper care and maintenance recommendation. Recommend removal and cleaning of debris from the roof by a qualified specialist.





## 11. Roof - Moss/Mildew

### Maintenance

One or more areas of the exterior has moss growth or microbial growth. This condition typically occurs in locations that experience high moisture exposure and/or may not receive sufficient sunlight to allow the area to adequately dry. The growth should be removed to extend the life of the underlying material. Recommend repair by a qualified specialist.

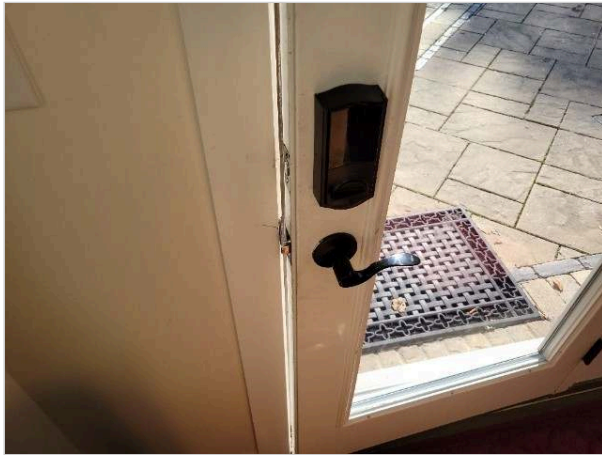


## 12. Other Ext. Entry Doors - Door Fit

### Maintenance - Door Fit

One or more doors needs fit adjustment for the desired service and ease of use. Recommend evaluation and repair by a qualified specialist.





Basement exterior door does not latch well.

### 13. Patios/Decking/Porches - Surface(s)

#### Maintenance

The front steps have moss growth. It appears this area does not receive sufficient sunlight to adequately dry out the surfaces after periods of rain. Moss growth, while considered attractive to some, may pose a potential trip hazard. Recommend evaluation and correction for the desired outcome by a qualified specialist.



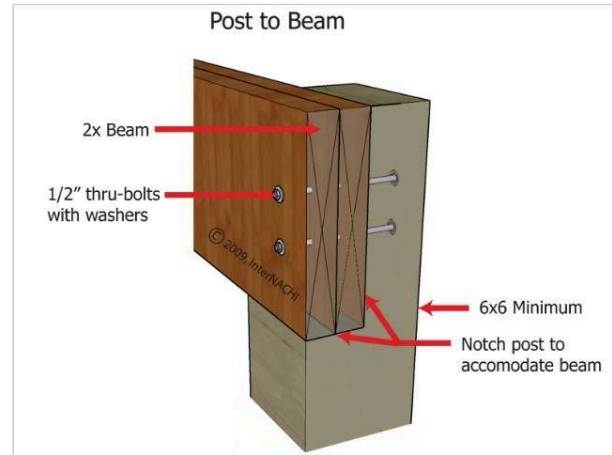
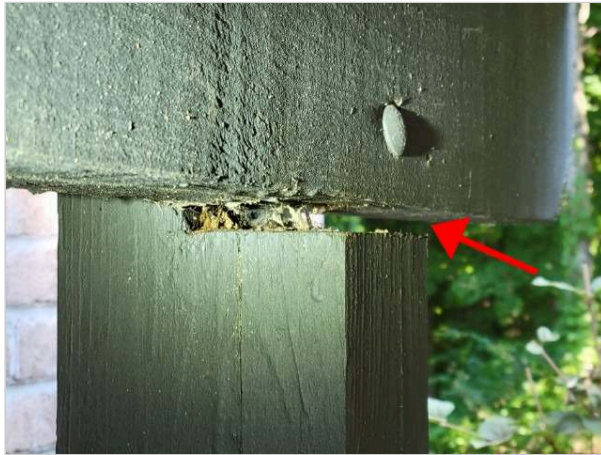
### 14. Patios/Decking/Porches - Foundation/Framing

#### Maintenance

There is a large gap between one of the beams and a post. The beam should be resting on the post with no visible gap present. Recommend evaluation and correction by a qualified deck contractor.



# Extended Full Home Inspection Summary Report



There are several joists that are missing a required joist hanger. Recommend repair by a qualified contractor.



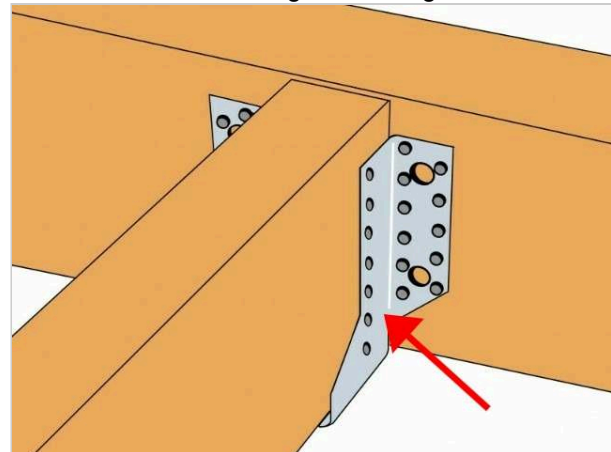
Joist hangers missing.



Joist hangers missing.



Joist hangers missing.



Example.

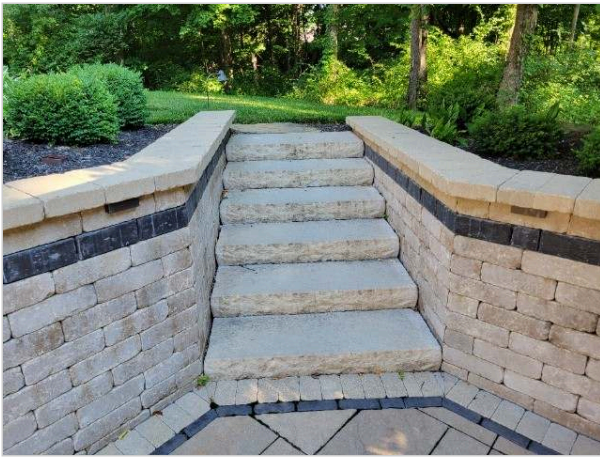
## 15. Patios/Decking/Porches - Steps/Handrails

### Maintenance

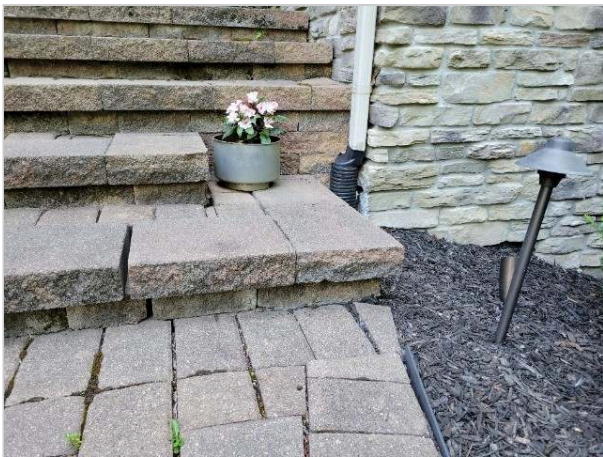
One or more areas do not have a required handrail. All stairways with four or more risers required a handrail. All railings should be secured on the side of all steps with four or more risers or platforms over 30" high. Recommend evaluation and installation of a railing system by a qualified specialist.



# Extended Full Home Inspection Summary Report



The front steps' pavers have areas that are not level and may pose a trip hazard. The bottom right side of the steps is sloping away to the right, which has created large gaps between the pavers. Removal and rebuilding of the steps may be required. Recommend evaluation and correction by a qualified contractor.



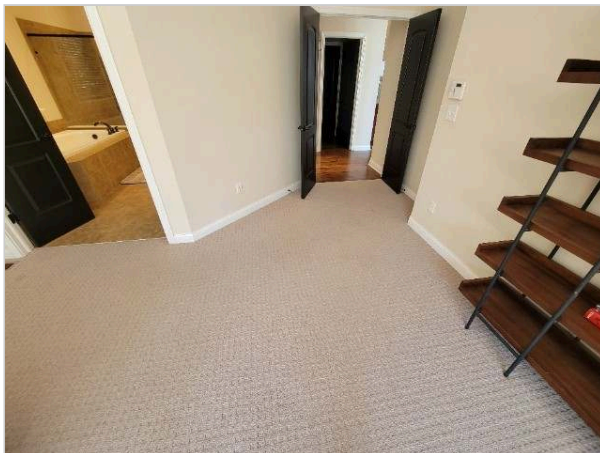




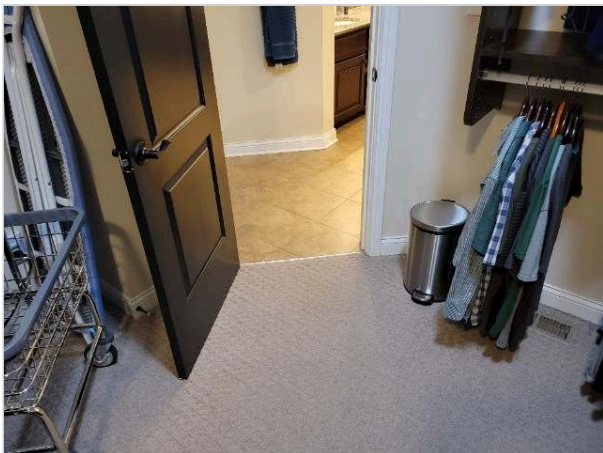
## 16. Structure - Floor Structure

### Maintenance - Noisy Floor

The floor is "squeaky" in one or more areas. Squeaky or noisy floors are primarily caused by loose fasteners in wood boards or sub-floor and generally considered an annoyance rather than a structural defect. Products are available for non-invasive repair of the condition. Recommend evaluation and repair for the desired service by a qualified specialist.



Master bedroom.



Master bedroom closet.



# Extended Full Home Inspection Summary Report



Top of the basement stairs.



Several of the basement stairs.



Several areas of the kitchen.

## 17. Structure - Interior Walls

### Maintenance

One or more areas of the interior walls and/or ceilings appear to have been repaired in the past. These areas appear to be functional; however, it could not be determined what was repaired or what issue was corrected. Recommend asking seller about this condition. In the absence of seller disclosure, recommend further evaluation by a qualified specialist.



Previous repair primary bedroom closet.

# Extended Full Home Inspection Summary Report

One or more areas of the interior walls and/or ceiling is damaged. Recommend evaluation and repair by a qualified specialist.

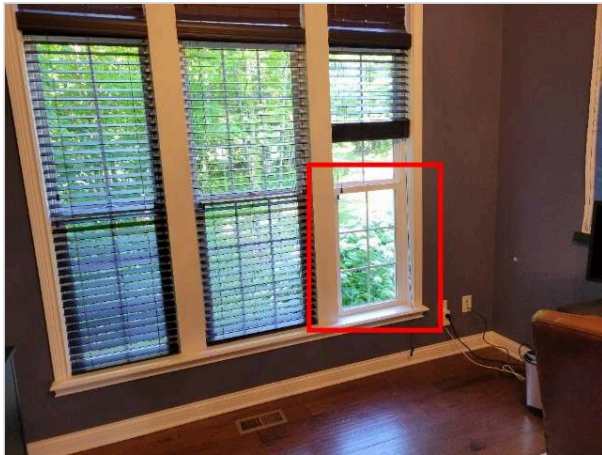


Damage to wall at garage.

## 18. Structure - Windows, Latches/Locks

### Maintenance

One or more windows were difficult to operate. Windows should be able to be opened and closed with relative ease for safety. Recommend evaluation of all the windows operation and repair by a qualified window specialist.



Office window difficult to operate. Too tight.

Several areas of the master bedroom window interior caulk has separated. The area was scanned with a moisture meter and no evidence of moisture penetration was observed. There were no moisture stains in the area. This is likely the result of fluctuating exterior temperatures. Recommend repair by a qualified specialist.



# Extended Full Home Inspection Summary Report



# Extended Full Home Inspection Summary Report



No elevated moisture found all locations.

It appears the tilt latch, used to secure the window and tilt open the lower pane is damaged. Recommend evaluation and repair by a qualified specialist.



Tilt latch is damaged.



Affected window.

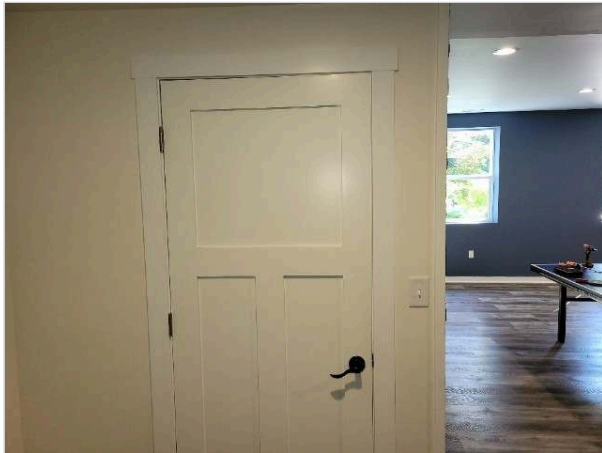
## 19. Structure - Interior Doors

### Maintenance

One or more doors needs fit adjustment for the desired service and ease of use. Recommend evaluation and repair by a qualified specialist.



# Extended Full Home Inspection Summary Report

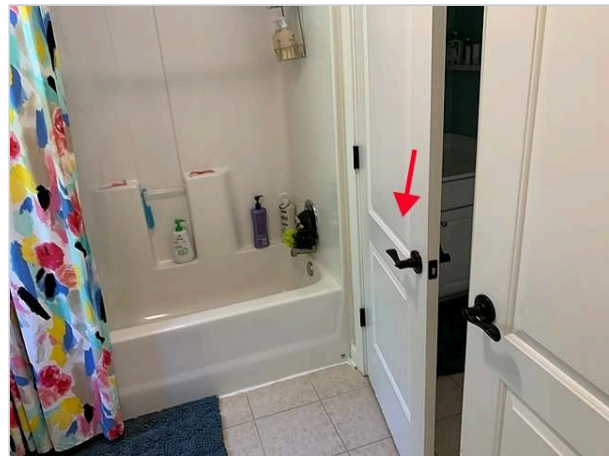


Door does not close. Basement stored closet under the stairs.

One or more doors have hardware that is loose, damaged or missing. Recommend repair by a qualified specialist.



Door handle is loose.



Affected door.

## 20. Structure - Ceiling Structure

### Maintenance

One or more areas of the interior walls and/or ceiling is damaged or has gaps that need to be repaired and/or sealed with a heat resistant caulk. This is a fire safety requirement due to the presence of gas appliances in the area. Recommend repair by a qualified specialist.

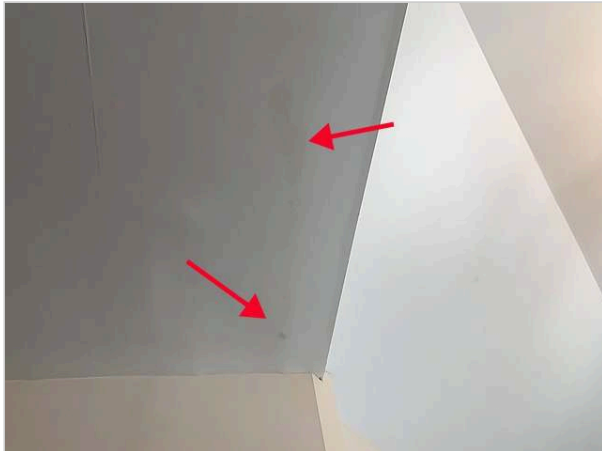


# Extended Full Home Inspection Summary Report



Area needs re-sealed with fire rated caulk, upper furnace.

One or more areas of the interior walls or ceilings appears to have an active leak. The affected area was scanned with a moisture meter, which revealed the presence of active moisture. Corrective action should be taken immediately. Moisture leaks can cause extensive and costly damage to building materials. A home inspection is a visual-only, non-invasive inspection. Invasive inspection is required to determine the extent of damage. Recommend asking seller about this condition. Recommend further evaluation by a licensed plumber and/or qualified roofing contractor.



Moisture stains at kitchen ceiling.



Elevated moisture 100%.

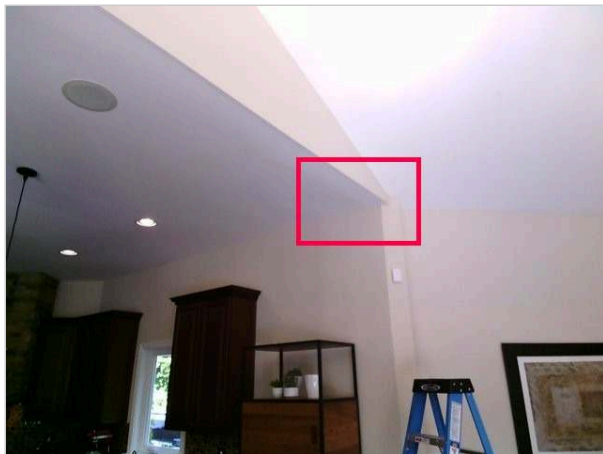
# Extended Full Home Inspection Summary Report



No elevated moisture at larger stain.



Thermal camera detects temperature drop in this area, moisture intrusion.



Affected area.

One or more areas of the interior walls and/or ceilings appear to have been repaired in the past. These areas appear to be functional; however, it could not be determined what was repaired or what issue was corrected. The drywall finish is insufficient. Recommend asking seller about this condition. Recommend repair by a qualified specialist.



Basement bedroom closet ceiling.



# Extended Full Home Inspection Summary Report

## 21. Structure - Smoke Detector(s)

### Maintenance

One or more smoke detectors were NOT tested due to their integration into the security system. Testing the alarm may notify emergency services. Recommend checking with the seller as to the operation and functionality of the system. All dwellings should have at least one functioning smoke alarm installed outside each sleeping area and on each level of the structure.



Integrated system, not tested.

## 22. Structure - Carbon Monoxide Detector(s)

### Action Required - Not Installed

It appears the structure is not equipped with carbon monoxide (CO) detectors in one or more levels. CO detectors are recommended where there is a possible source of CO present; such as gas burning appliances and fireplace systems. Recommend that one or more CO detectors with battery backups be installed on each level in the structure according to manufacturer recommendations.

## 23. Structure - Radon Mitigation System Installed

### Attention - No Radon System

A radon mitigation system is not installed. Radon is a naturally occurring radioactive gas that can cause lung cancer. Radon is colorless, odorless and tasteless. It can seep into the structure through cracks, joints, basement drains, sump pits or other tiny openings in foundations. Structures with elevated levels of Radon have been found in every county of Indiana. All homes in Indianapolis and surrounding counties have been identified as HIGH radon potential. The EPA and Surgeon General recommend that **every home should be tested for Radon at every real estate transaction and every five years.**

A Radon gas test was ordered by the client.

## 24. Kitchen(s) - Under Sink Inspection

### Maintenance

The bottom of the sink base cabinet is stained, warped, damaged or missing likely due to a current or past plumbing leak or cleaning chemical spill. There may be unseen or hidden damage. Invasive inspection may be required to determine the extent of damage. Recommend evaluation and repair or replacement by a qualified specialist.

# Extended Full Home Inspection Summary Report



Damage to wall at kitchen sink, no elevated moisture found.



Base is stained + warped.

## 25. Kitchen(s) - Counter Tops

### Maintenance - Counter Top Splash

The kitchen counter top does not have an installed sidesplash. The current condition does not protect the walls and unseen areas from moisture damage. Recommend installation of the required splash by a qualified specialist.



No side splash. Basement bar.

## 26. Laundry Area - Dryer Ventilation System

### Action Required

The vent system for the dryer exhaust has a significant build up of lint and debris. There is a grill or grate installed over the top of the dryer vent cover. This type of vent cover will clog rapidly and required frequent cleaning. The leading cause of fires from clothes dryers is excessive lint and other debris within the vent system. Corrective action should be taken as soon as possible to avoid a fire. This will also reduce the efficiency of the dryer. If additional methods are desired to prevent entry of animals, alternative vent cover designs exist that will prevent animal entry, but will not pose the same fire risk. Recommend professional cleaning of the dryer vent system.





## 27. Bathroom(s) / Washroom(s) - Ventilation

### Maintenance - Vent Fan Noise

One or more bathroom ventilation fans makes an unusual or loud noise. There may be a defect or near future failure. Recommend repairing or replacing the fan by a qualified specialist.



Noisy vent fan.

## 28. Bathroom(s) / Washroom(s) - Sink/Fixtures

### Maintenance - Stopper

The master bathroom sink drain stoppers are difficult to operate. Recommend repair by a qualified specialist.



# Extended Full Home Inspection Summary Report

## 29. Bathroom(s) / Washroom(s) - Medicine Cabinet/Vanity

### Maintenance

One or more pedestal sinks or bases are not secured or damaged. Recommend repair by a qualified specialist.



Pedestal sink is not secure. 1/2 bath.

One or more of the cabinet drawers and/or doors are damaged, not installed or need adjustment. Recommend repair by a qualified specialist.



Loose cabinet at upper bath.

## 30. Bathroom(s) / Washroom(s) - Caulking - Water Exposed Area

### Maintenance - Sealant

One or more areas in the bathroom has insufficient sealant. Moisture leaking through unsealed areas can cause structural damage. There may be unseen or hidden damage. Invasive inspection may be required to determine the extent of damage. Recommend repair by a qualified specialist.





Basement bath.



Affected area.



Sealant needed.

### 31. Bathroom(s) / Washroom(s) - Toilet(s)

#### Maintenance - Toilet Not Functional

One or more bathroom toilets were not functional at time of inspection. Recommend evaluation and repair by a licensed plumber.



Not tested.

### 32. Bathroom(s) / Washroom(s) - Shower Fixtures

#### Maintenance - Shower Diverter

# Extended Full Home Inspection Summary Report

One or more shower diverters appeared to be damaged. The shower diverter changes the direction of water flow from the tub faucet up to the shower head. When the shower head is active and water is still coming out of the tub faucet, the shower diverter is damaged and replacement is indicated. Moisture related damage may be hidden or otherwise undetectable by the inspector at the time of inspection. Invasive inspection may be required to determine the extent of damage. Recommend repair by a licensed plumber.



Damage to diverter.



Affected bath.

### 33. Attic - Access

#### Maintenance

Access to the garage attic was not provided. The attic access opening cover was blocked and the attic could not be inspected. Recommend inspection of the space when access is provided.



Garage attic access blocked.

### 34. Attic - Evidence of Undesirable Animals

#### Yes - Vermin Activity

Multiple locations: There is evidence of vermin activity in one or more areas of the structure. Recommend implementation of preventative treatment methods and if needed further evaluation by a licensed exterminator.





Vermin tunnel at attic.



Vermin tunnel at attic.

## 35. Air Conditioning - Condensing Coil Condition

### Maintenance

The outdoor portion of both air conditioners has insufficient clearance from nearby vegetation growth. There are vines growing inside the units. This can reduce the efficiency of the unit and may cause damage. A minimum of 12 inches of clearance is recommended. Recommend repair by a qualified specialist.



The condensing units are very dirty. Debris buildup can cause system malfunction, premature deterioration of the appliance and loss of energy efficiency. Recommend cleaning by a qualified HVAC technician.





### 36. Heating System - Operation Noise

#### Maintenance - Noise

A loud or unusual noise was observed at the furnace during operation that may indicate a damaged component. Recommend evaluation and repair by a qualified HVAC technician.



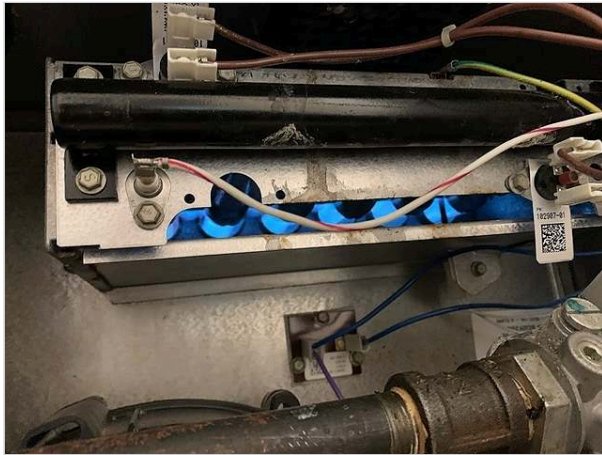
Unit 1

### 37. Heating System - Vents/Flues

#### Maintenance

The heating system burners were dirty and need to be cleaned. There is uneven, flickering flames visible when operating the unit. Recommend an evaluation and service of the burners, vents and flues by a qualified HVAC technician.





Unit 2 burners are dirty.

## 38. Heating System - Condensate Drain System

### Maintenance - Corrosion (dry)

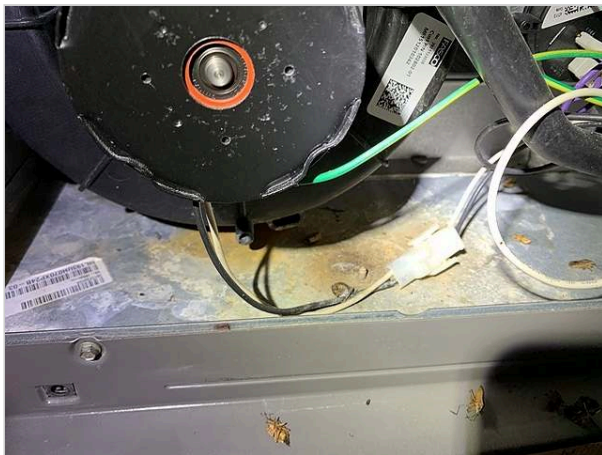
Dry moisture stains or corrosion was observed inside or near the air handler/furnace below the cooling coil. It appears this condition was the result of a previous leak. The defect may have been repaired or may only occur under specific conditions. Recommend evaluation by qualified HVAC technician.



Unit 1



Unit 1



Unit 2.



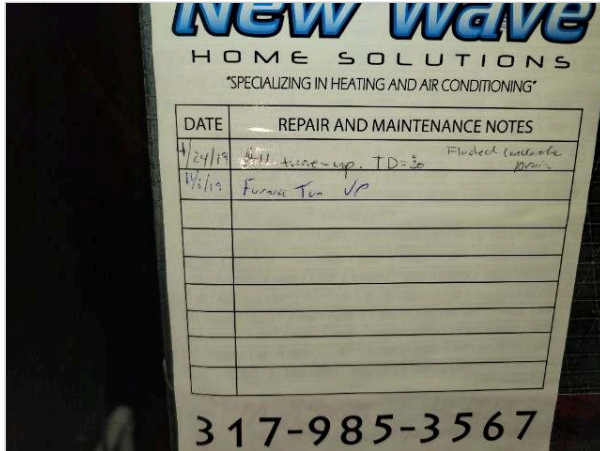
Unit 2.

# Extended Full Home Inspection Summary Report

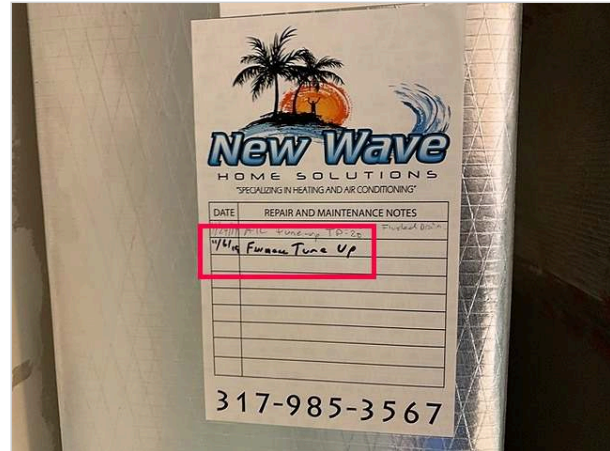
## 39. Heating System - Service Notes

### Maintenance - No Recent Service

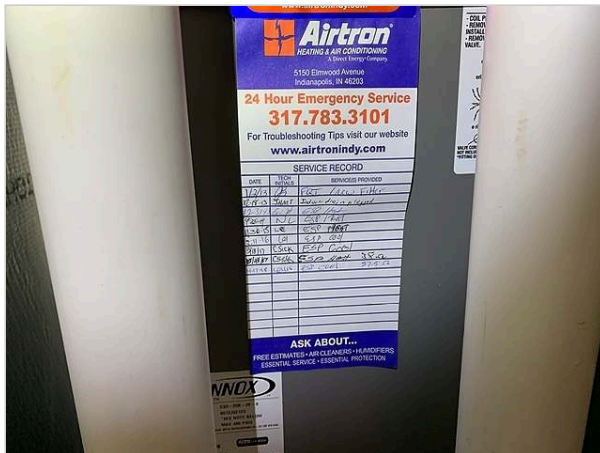
There does not appear to be any visible posted service notes of recent documented service within the last year of the HVAC system. Annual maintenance of all HVAC equipment is vital to prolonged lifespan. Recommend complete evaluation and service by a qualified HVAC technician.



Unit 1 - Last service: 2019



Unit 2, last service 2019.



Unit 2.

## 40. Heating System - Humidifiers

### Attention - Installed

There is a whole-house humidifier system installed. The system was not inspected or tested as it is beyond the scope of the standard of practice. Whole-house humidifiers can be prone to mold growth. The units must be maintained and cleaned regularly. Many styles of humidifiers contain a media pad that should be replaced annually. The average service life of a humidifier is 5-7 years. Recommend asking seller about the operation of the unit and/or evaluation by a qualified HVAC technician.





#### 41. Plumbing - Waste Pipe Material

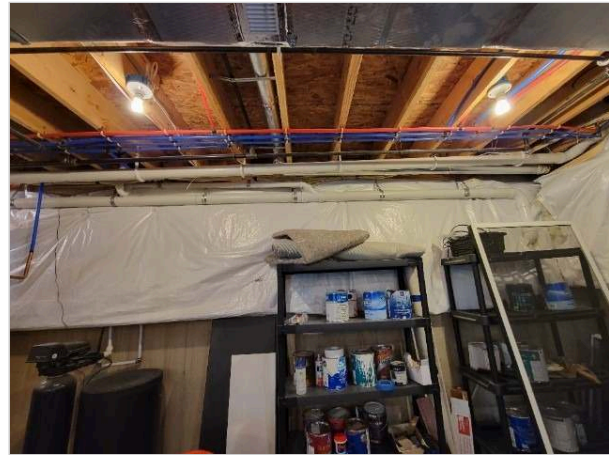
##### Maintenance

One or more waste drains are constructed of flexible plumbing. Flexible plumbing may obstruct drainage flow and can harbor bacteria. Waste plumbing shall have a smooth interior waterway. Recommend evaluation and replacement by a qualified specialist or plumber.



Flexible plumbing at primary bedroom sink.

One or more areas of the PVC or plastic waste plumbing has metal straps. Metal or wire straps should not be used to secure plumbing waste drains. Straps may fail to resist upward thrust and lateral movement from water surge and expansion and contraction. The resulting movement may cut and damage the piping. Plastic straps should be used. Recommend replacement by a licensed plumber.



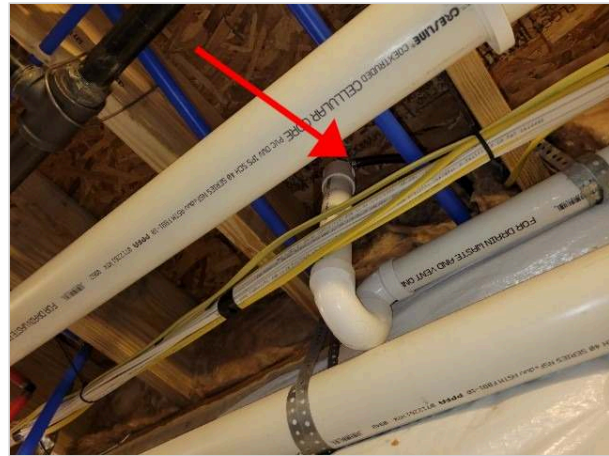
## 42. Plumbing - Soft Water System

### Attention

There is a soft-water system installed in the basement. The system appeared to be constantly draining. There may be a defect with the system or setting that needs to be modified. Some of the many benefits of a water softener is increased service life of the water heating system, reduction of mineral deposits, better performance of the dishwasher and general water quality. Testing of the system is beyond the standards of practice of a home inspection. Functionality, operation and adequacy were not verified. For further analysis, recommend evaluation by a licensed plumber or qualified technician.



Softener system in the basement.



Softener drain.

## 43. Plumbing - Water Temperature - At Fixture

### Action Required - Too Hot

The temperature of the water at one or more fixtures exceeded the recommended setting of 120 degrees Fahrenheit. If the temperature is set too high, accidental burning may occur. Children are burned at a lower temperature than adults. Recommend setting the water heater to 120 degrees for safety by a qualified specialist.





Water temperature too hot at 130.3, kitchen sink.

#### 44. Plumbing - Exterior Water Flow

##### Maintenance - Not Functional

One or more exterior hose bibs were not functional. There may be a defect with the hose bib operation. The water service may also be intentionally turned off for winterizing, if the house is vacant or another unknown reason. Recommend asking the seller about this condition. If indicated, recommend evaluation and repair by a licensed plumber.

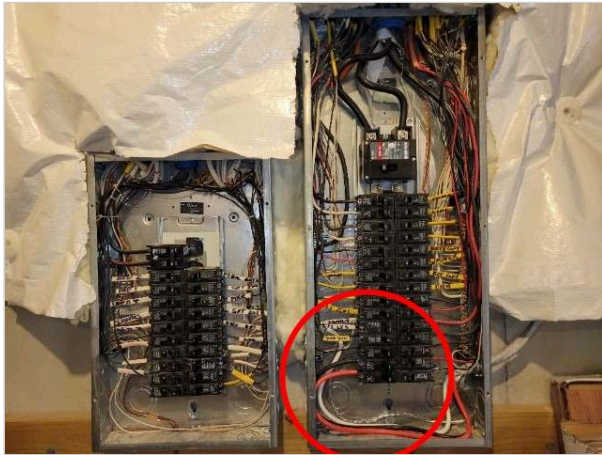


Hose bib not functional. SE side, near gas meter.

#### 45. Electrical Service - Panel Cover

##### Maintenance

The panel cover is missing an accurate circuit breaker location legend. A location legend is an important safety feature for verification of circuits and to provide quick identification of service disconnects in the event of an emergency. Recommend identification and installation of an accurate circuit location legend by a qualified specialist.



100amp breaker in large panel is not identified.

The electrical panel cover is missing one or more fasteners. Electrical panels should be secured in place with screws specifically for this application as a safety measure. Recommend repair by a qualified specialist.



#### 46. Electrical Service - Outlets, Switches, Junction Boxes, Lighting

##### Maintenance

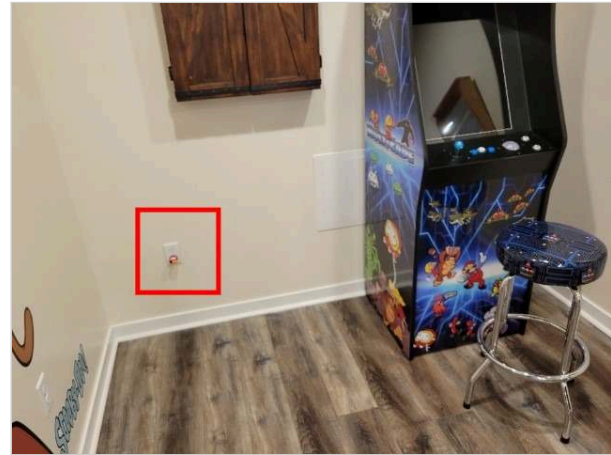
There are one or more outlets that are damaged, loose or not functional. This condition could lead to electrical shock. Recommend evaluation and repair by a licensed electrician.



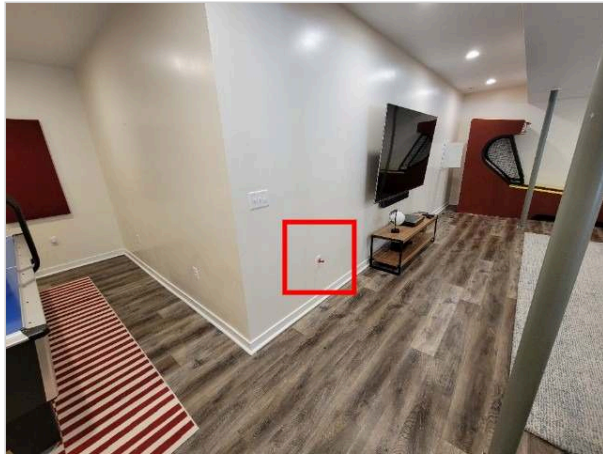
# Extended Full Home Inspection Summary Report



Outlet not secure. Basement.



Outlet not secure. Basement.



Outlet not secure. Basement.

There is one or more bare bulbs installed in a closet. Exposed or partially exposed incandescent or LED bulbs are not allowed in closets. While utility light fixtures with bare bulbs in a socket were once common in closets and other storage areas, these are no longer allowed. All light bulbs must be fully enclosed in a globe or other housing. Recommend repair or replacement by a qualified electrician.



Basement storage closet. Under the stairs.

# Extended Full Home Inspection Summary Report

There are one or more light(s) in the structure that did not illuminate when operated. This condition could be simply a light bulb that is burnt-out or another condition that could not be identified by visual inspection. Repair or replacement is recommended by a qualified specialist.

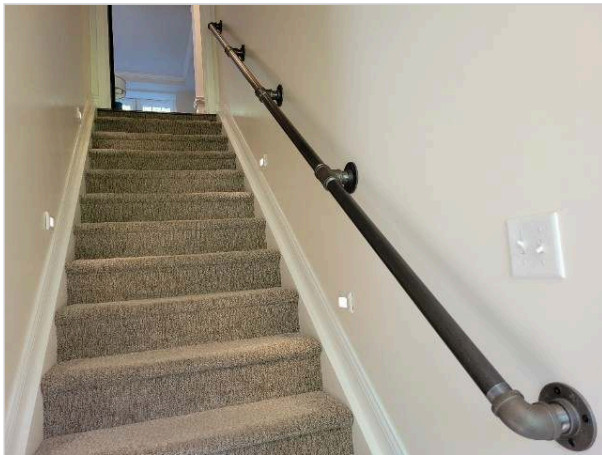


Light not functional.

## 47. Basement - Access/Stairs

### Action Required

All stairway handrails should be continuous within the full length of each stair flight. The basement custom handrail is secured to the wall in several locations. This requires occupants to release their grip on the handrail temporarily. Recommend evaluation and if indicated, repairs or replacement by a qualified contractor.

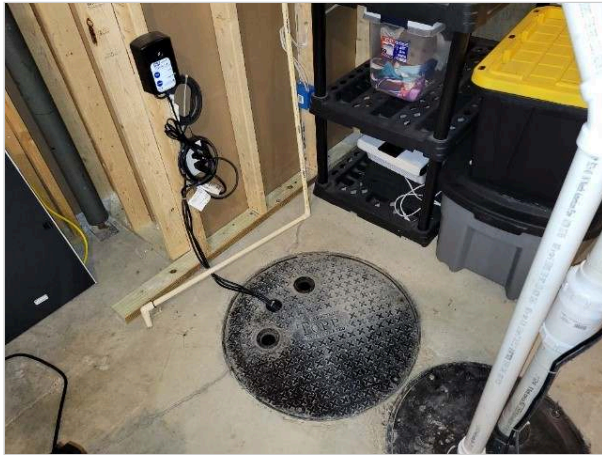


## 48. Basement - Drainage and Sump Pumps

### Maintenance - No Battery Backup System

There is a sump pit with a sump pump in the basement. The installed sump pump was tested for functionality and appeared to be functional at the time of inspection. There is no battery backup system installed. In the event of a power loss, the sump pump will not be functional. Overflow of the sump pit may create substantial damage to surrounding building materials. Recommend installation of a battery backup system by a qualified specialist.





## 49. Attached Garage - Safety Operation, Opener(s)

### Maintenance - Auto Reverse Not Functional

One or more garage door opener's auto-reverse function is damaged or needs adjustment. When an overhead garage door is closing, a built-in sensor should detect any resistance. If an object is in the path of the door, the door should stop and reverse. This safety feature has been standard on all garage door openers manufactured since 1991. Many automatic openers allow for the adjustment of the sensitivity of this feature. If the affected opener does not, it should be replaced. Recommend evaluation and repair by a qualified overhead garage door specialist.



Both units: Safety reverse feature not functional.

## 50. Attached Garage - Floor/Foundation

### Attention - Stored Items

One or more areas of the garage were inaccessible to inspection due to stored items. Recommend inspection when access has been provided.

# Extended Full Home Inspection Summary Report



## 51. Attached Garage - Fire Wall/Ceiling Board

### Action Required - Fire-Separation Wall

One or more areas of the garage fire-separation wall is inadequate or damaged. The ceiling and any walls between the attached garage and the interior shall be covered with drywall, a fire-resistant material. Drywall seams shall be tapped and mudded. Large holes should be repaired and all smaller gaps should be sealed with a fire-rated caulk. The fire-separation wall must resist the free passage of flames and the products of combustion for safety. Recommend repair by a qualified specialist.



Area needs sealed with fire rated caulk.



Area needs sealed with fire rated caulk.

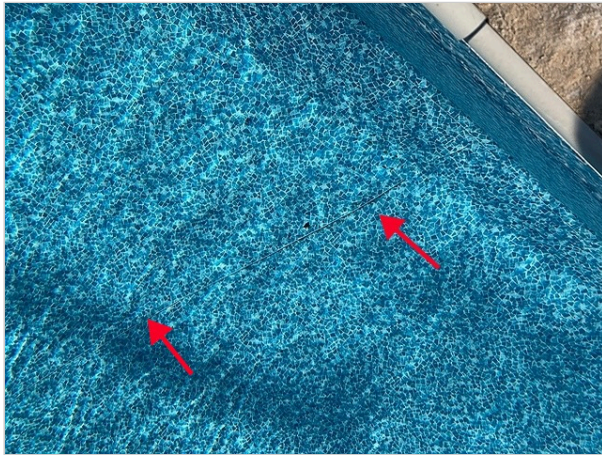
## 52. Swimming Pool - Type of Construction

### Maintenance - Liner Wrinkles

Pool liner wrinkles and gaps in the liner fit have been found. Pool liner wrinkles can happen for a number of different reasons. They can develop suddenly, or slowly over a long period of time. Wrinkles can also happen when the liner is first installed if the liner is not measured correctly, manufactured correctly or it is oriented poorly during the installation. In most cases this is not an immediate concern. However these areas can be prone to developing holes since they are physically raised above the surface of the pool. The areas found in this pool appear functional and recommend monitoring these areas for leaks or further wrinkle development. For further information, recommend evaluation by a qualified pool install contractor.



# Extended Full Home Inspection Summary Report



Wrinkle at liner.



Wrinkle at liner.

## 53. Swimming Pool - Decking Surface

### Maintenance

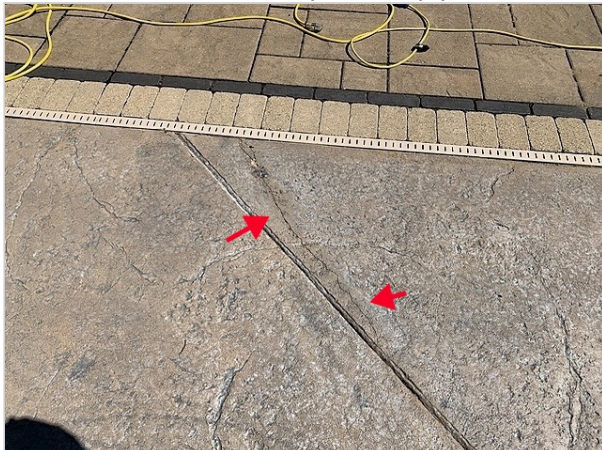
One or more areas of the concrete is cracked. All concrete is subject to cracks and chips. Most cracks are a natural cause of being exposed to the elements and simple settling. Larger cracks may be a sign of improperly compacted soil, faulty foundation or construction methods, or excessive moisture exposure. Recommend evaluation and repair by a qualified specialist.



Minor crack at pool sump pit.



Picture 2.



Minor crack at deck surface.

# FULL REPORT



# Extended Full Home Inspection Details

(Italicized comments also appear in the summary report)

## Utility Services

### 1. Electrical Services

Underground

### 2. Water Source

City

### 3. Water Meter Location

Exterior

The water meter.



### 4. Water Shutoff

Basement

The main water shutoff valve for the residence.



### 5. Sewer

City

The structure appears to be connected to the public sewage system. A main sewer pipe that serves the community which is gravity fed from the sewer system through a main sewer pipe.

### 6. Sewer Line Clean-out

Exterior

### 7. Gas Service

Natural

## Extended Full Home Inspection Details

(Italicized comments also appear in the summary report)

Natural Gas regulator/meter and shut off.



### 8. Gas Odors

Functional - No

There are gas burning appliances inside this structure. The inspector tested the gas supply fittings at the gas appliances that were readily accessible with a gas leak detector and no leaks were found. Testing for leaks in every area of the gas supply line is not possible as all gas lines are not readily accessible. This type of testing is outside the scope of the standards of practice. Recommend that the client consult with the local gas utility in regards to gas leak monitoring. The gas service provider puts an additive into the gas supply to give it a distinct odor to aid in discovering leaks. No odor was present at time of inspection. If a gas odor is present, the gas should be turned off immediately, windows opened and the service provider contacted.



Lower furnace.



Water heater.



# Extended Full Home Inspection Details

(Italicized comments also appear in the summary report)



Upper furnace.



Fireplace.



Fireplace.



Stovetop.

## 9. Vents/Exhaust

Satisfactory

## 10. Service Shut Off(s)

Meters and/or Appliances

The service shut offs are located at the meter and also at the appliances.

## 11. Carbon Monoxide

None Noted

An ambient reading for Carbon Monoxide (CO) was taken in representative areas of the building during the inspection while the fossil fuel burning system(s) was in operation. At the date and time of inspection, there was no evidence of ambient CO in the building. This is NOT a warranty against the possible future presence of Carbon Monoxide (CO) in the building. Carbon Monoxide is a colorless, odorless gas that can be generated by malfunctioning fossil fuel heating systems, including furnaces and water heaters. Yearly evaluation and maintenance of fossil fuel heating systems by a qualified technical expert is recommended to help insure safe and efficient operation. Recommend installing Carbon Monoxide detectors, equipped with battery back-up and a digital read out, on each level of the structure.

## Structure Perimeter Exterior

### 1. Address Identification

Functional

There is a residence number visible in front of this structure.

## Extended Full Home Inspection Details

(Italicized comments also appear in the summary report)



### 2. Mail Box

Functional

There is a functional mail box on the property.



### 3. Foundation Material(s)

Concrete

### 4. Visible Cracks

No

### 5. Evidence of Movement

No

### 6. Site Drainage

Satisfactory

The grading around the exterior of the structure appears to be either level or sloping away from the foundation.

### 7. Proper Earth-Wood Clearance

Functional

Inspection around the perimeter of the structure does not show any contact of earth/mulch to wood trim or siding.

### 8. Vegetation Clear from Structure

Maintenace



# Extended Full Home Inspection Details

(Italicized comments also appear in the summary report)

*One or more trees are overhanging the roof or in direct contact with the structure. Tree branches overhanging the roof are a hazard. They drop debris, which can damage the roof and may create excessive shade, which may allow the growth of moss or microbial growth. They may allow a common avenue for pest and rodent infestation. Trees can also damage sewer lines when in close proximity. All tree branches should be trimmed as to not overhang the roof and be at least 6 - 12 inches away from the structure exterior. Recommend repair by a qualified arborist.*

*There is vegetation close to or in direct contact with the structure. All vegetation should be trimmed at least 6 - 12 inches away from the structure exterior to prevent damage and to eliminate a common avenue for pest infestation. Vegetation overgrowth may limit the view of the area for the inspector. An unknown condition may exist. Recommend repair by a qualified specialist.*

## 9. Watering System

Yes

The structure appears to be equipped with an automatic watering system that adds a positive aspect to the property. Testing the system is not within the scope of the inspection. The systems functionality is unknown. Recommend checking with the seller concerning the operation of the system.



## Exterior Structure

### 1. Flat Surface Material(s)

Multiple Types

The exterior surface of the structure appears to be predominantly covered with brick siding. Brick is the most durable siding; can last 100+ years, is fire and insect resistant and does not have to be painted. Although maintenance free and the most durable, brick siding and the supporting mortar should be monitored for signs of decay or moisture retention.

# Extended Full Home Inspection Details

(Italicized comments also appear in the summary report)



The exterior surface of the structure appears to be partially covered with stone siding. Stone is impenetrable by mother nature and will last a lifetime. Stone siding is resistant to moisture, extreme temperatures, insects, and fire and requires the least maintenance of any siding type.

## 2. Siding Condition

Maintenance - Mortar Defect

*One or more areas of the exterior masonry mortar are cracked, damaged or missing. Repair is needed to prevent moisture penetration and further damage. Recommend evaluation and repair by a qualified masonry specialist.*

## 3. Exterior Columns/Support structures

Functional

## 4. Painted Surfaces

Maintenance - Weathered/Chipped Paint

*The exterior painted surfaces are showing deterioration and/or weathering. These areas are highly susceptible to the elements. Failure to maintain paint integrity may result in damaged trim and moisture penetration issues. Exterior paint has an average service life of 5-7 years. Recommend repair by a qualified specialist. Note: The pictures below are samples. All affected areas are not shown.*

## 5. Eave/Soffit Areas

Maintenance - Soffit Defect

*One or more areas of the soffit are damaged, loose, gaped or missing. Repairs are needed to prevent moisture penetration damage and pest intrusion. Recommend repair by a qualified specialist.*

## 6. Fascia Boards/Trim

Maintenance - Trim Defect

*One or more areas of the trim are damaged, loose, gaped or missing. Repairs are needed to prevent moisture penetration damage and pest intrusion. These areas may be damage from carpenter bees. Recommend evaluation by a qualified exterminator and repair by a qualified contractor.*

## 7. Caulking Structure

Maintenance - Sealant Needed

*One or more areas of the exterior caulking or sealant is damaged or missing. Sealant is vital to prevent pest intrusion and moisture related damage to building materials and requires frequent maintenance. Recommend repair by a qualified specialist. Note: The pictures below are samples. All affected areas may not be shown.*

## 8. Double Pane Seals/Insulating Windows

Maintenance - Thermal Seal Failure



# Extended Full Home Inspection Details

(Italicized comments also appear in the summary report)

*One or more double pane insulating glass windows or doors have lost the thermal seal between the panes of glass. There may be condensation, corrosion or deterioration between the panes. This condition can usually be repaired, but replacement may be indicated depending on the cost of repair. A visual inspection of the windows may not disclose deficiencies in all windows, which may only be visible at certain times of the day or under certain meteorological conditions at the time of inspection. Recommend evaluation and repair or replacement by a qualified window specialist.*

## 9. Window Glass

Functional

## 10. Window Screens

Maintenance - Missing Screens

*Most of the window screens are missing. Screens were found stored in the basement. Recommend installation or replacement for the desired service by a qualified specialist.*

## Roof

### 1. Roof Evaluated From

Aerial Drone

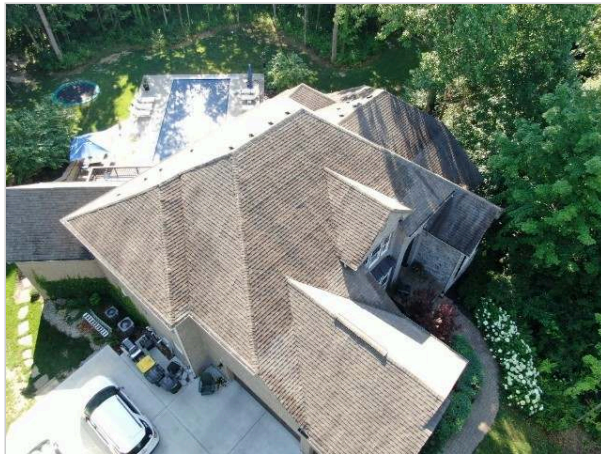
The roof cover was evaluated from the air, via a remote operated drone. Video of the roof cover can be viewed here:

Click: <https://youtu.be/q6OUZCHngLU>

### 2. Roof Cover Material(s)

Asphalt Architectural

The roof is predominantly covered with architectural (also called dimensional) composition asphalt shingles. Architectural shingles are composed of a fiberglass mat embedded in asphalt and covered with ceramic-coated mineral granules and have a distinctive textured appearance. The service life expectancy is typically up to 30 years.



# Extended Full Home Inspection Details

(Italicized comments also appear in the summary report)



### 3. Apparent Number of Layers

Appears to be 1 Layer

### 4. Cover Material Condition

Functional

The roof covering material appears to be in serviceable condition. While most roof coverings are very durable, they are not maintenance free. Annual inspection and maintenance of the roof is vital to prolonged lifespan.

### 5. Flashing/Caulking

Maintenance

*One or more areas of the drip edge is missing, damaged or installed improperly. Drip edge flashing supports the edges of the shingles, provides resistance to moisture from entering the attic and protects fascia and sheathing from damage. Most roofing cover manufacturers require a drip edge. Recommend repair or installation by a qualified roofing contractor.*

*One or more areas of the roof is missing kickout flashing. Where a roof eave (end) meets a vertical wall, kickout flashing is required. Rain water coming down the roof may spill over the gutter onto the exterior wall. This may lead to staining, but can allow moisture to enter the wall behind the siding material, potentially causing extensive damage. Recommend evaluation and repair or installation by a qualified roofing contractor.*

### 6. Vents/Chimneys/Covers

Functional

Inspection did not reveal any problems with the vents and/or chimney system that would require service at this time. Regular inspections and periodical maintenance is necessary for the continued safe operation of the systems.

### 7. Debris on Roof

Maintenance - Debris

*There was debris on the roof at the time of the inspection. Debris should be cleaned off the roof surface as a proper care and maintenance recommendation. Recommend removal and cleaning of debris from the roof by a qualified specialist.*

### 8. Moss/Mildew

Maintenance

*One or more areas of the exterior has moss growth or microbial growth. This condition typically occurs in locations that experience high moisture exposure and/or may not receive sufficient sunlight to allow the area to adequately dry. The growth should be removed to extend the life of the underlying material. Recommend repair by a qualified specialist.*

### 9. Gutters/Down Spouts

Functional



# Extended Full Home Inspection Details

(Italicized comments also appear in the summary report)

The gutter system appeared to be functional.

## 10. Drains/Splash Blocks

Functional

The down spout extensions or splash blocks appear to be functional. It is important to keep extensions or splash blocks clear and functional so that they do not overflow next to the foundation.

## Main Entry Door

### 1. Correct Application

Yes

The main entry door appears to be of proper construction and application.



### 2. Finish

Functional

### 3. Door Fit

Functional

### 4. Weather Strip

Functional

### 5. Locks

Yes

### 6. Security/Caller Visibility

Yes

### 7. Door Chime

Functional

### 8. Lighting

Satisfactory

## Other Ext. Entry Doors

### 1. Location(s)

Multiple Locations

All exterior doors other than the main entry are combined into this one section.

# Extended Full Home Inspection Details

(Italicized comments also appear in the summary report)



## 2. Finish

Satisfactory

## 3. Door Fit

Maintenance - Door Fit

*One or more doors needs fit adjustment for the desired service and ease of use. Recommend evaluation and repair by a qualified specialist.*

## 4. Weather Stripping

Functional

## 5. Locks

Functional

## 6. Lighting

Functional

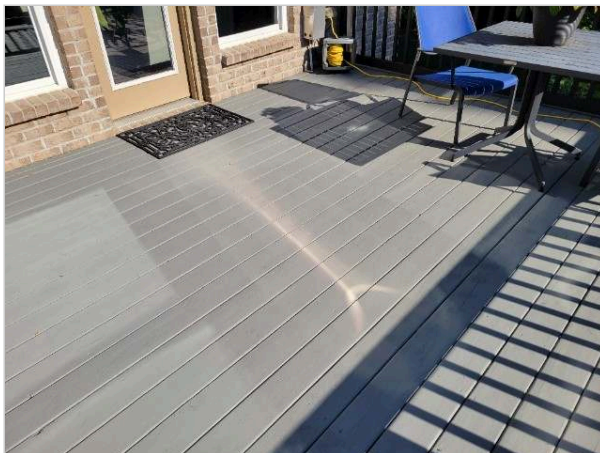
## Patios/Decking/Porches

### 1. Surface(s)

Maintenance

*The front steps have moss growth. It appears this area does not receive sufficient sunlight to adequately dry out the surfaces after periods of rain. Moss growth, while considered attractive to some, may pose a potential trip hazard. Recommend evaluation and correction for the desired outcome by a qualified specialist.*

The back deck surface appears to be in a functional condition.





# Extended Full Home Inspection Details

(Italicized comments also appear in the summary report)

## 2. Concrete Slab

Functional

The concrete appears to be in satisfactory condition. Recommend monitoring for cracks and sealing as needed.

## 3. Foundation/Framing

Maintenance

*There is a large gap between one of the beams and a post. The beam should be resting on the post with no visible gap present. Recommend evaluation and correction by a qualified deck contractor.*

*There are several joists that are missing a required joist hanger. Recommend repair by a qualified contractor.*

## 4. Steps/Handrails

Maintenance

*One or more areas do not have a required handrail. All stairways with four or more risers required a handrail. All railings should be secured on the side of all steps with four or more risers or platforms over 30" high. Recommend evaluation and installation of a railing system by a qualified specialist.*

*The front steps' pavers have areas that are not level and may pose a trip hazard. The bottom right side of the steps is sloping away to the right, which has created large gaps between the pavers. Removal and rebuilding of the steps may be required. Recommend evaluation and correction by a qualified contractor.*

## 5. Cover/Enclosure

Functional

The porch or patio cover/enclosure appears to be in a functional condition.

## 6. Electrical Service

Functional

## 7. Natural Gas Service/Equipment

No

## Structure

### 1. Approximate Year Built

Approximate Year Built 2012

### 2. Description

Wood Framed

### 3. Bedroom(s)

Bedroom(s) 6

### 4. Bathroom(s)

Bathroom(s) 4.5

### 5. Roof Structure

Roof Trusses

### 6. Exterior Walls

Functional

### 7. Floor Structure

Maintenance - Noisy Floor

*The floor is "squeaky" in one or more areas. Squeaky or noisy floors are primarily caused by loose fasteners in wood boards or sub-floor and generally considered an annoyance rather than a structural defect. Products are available for non-invasive repair of the condition. Recommend evaluation and repair for the desired service by a qualified specialist.*

### 8. Interior Walls

# Extended Full Home Inspection Details

(Italicized comments also appear in the summary report)

## Maintenance

*One or more areas of the interior walls and/or ceilings appear to have been repaired in the past. These areas appear to be functional; however, it could not be determined what was repaired or what issue was corrected. Recommend asking seller about this condition. In the absence of seller disclosure, recommend further evaluation by a qualified specialist.*

*One or more areas of the interior walls and/or ceiling is damaged. Recommend evaluation and repair by a qualified specialist.*

## 9. Windows, Latches/Locks

### Maintenance

*One or more windows were difficult to operate. Windows should be able to be opened and closed with relative ease for safety. Recommend evaluation of all the windows operation and repair by a qualified window specialist.*

*It appears the tilt latch, used to secure the window and tilt open the lower pane is damaged. Recommend evaluation and repair by a qualified specialist.*

*Several areas of the master bedroom window interior caulk has separated. The area was scanned with a moisture meter and no evidence of moisture penetration was observed. There were no moisture stains in the area. This is likely the result of fluctuating exterior temperatures. Recommend repair by a qualified specialist.*

## 10. Interior Doors

### Maintenance

*One or more doors needs fit adjustment for the desired service and ease of use. Recommend evaluation and repair by a qualified specialist.*

*One or more doors have hardware that is loose, damaged or missing. Recommend repair by a qualified specialist.*

## 11. Interior Stairway Structure

### Functional

The interior stairway structure and framing appears to be functional.

## 12. Ceiling Structure

### Maintenance

*One or more areas of the interior walls and/or ceiling is damaged or has gaps that need to be repaired and/or sealed with a heat resistant caulk. This is a fire safety requirement due to the presence of gas appliances in the area. Recommend repair by a qualified specialist.*

*One or more areas of the interior walls or ceilings appears to have an active leak. The affected area was scanned with a moisture meter, which revealed the presence of active moisture. Corrective action should be taken immediately. Moisture leaks can cause extensive and costly damage to building materials. A home inspection is a visual-only, non-invasive inspection. Invasive inspection is required to determine the extent of damage. Recommend asking seller about this condition. Recommend further evaluation by a licensed plumber and/or qualified roofing contractor.*

*One or more areas of the interior walls and/or ceilings appear to have been repaired in the past. These areas appear to be functional; however, it could not be determined what was repaired or what issue was corrected. The drywall finish is insufficient. Recommend asking seller about this condition. Recommend repair by a qualified specialist.*

One or more areas have blemishes on the ceiling and/or wall. Common types of blemishes are nail pops, cracks, scuff marks, paint drips or discoloration. The blemishes appear to be cosmetic defects, likely the result of normal structural settling or poor quality drywall finishing. Identifying individual blemishes that are purely cosmetic defects is generally not included in a home inspection report, but may be included if the defects are numerous or subjectively severe. Recommend repair by a qualified specialist.



## Extended Full Home Inspection Details

(Italicized comments also appear in the summary report)



Nail pops at upper bedroom closet.

### 13. Furniture/Storage

#### Average

Furnishings and storage items are average for an occupied residence/structure. Notation is made that furniture, storage and personal items are not moved by the inspector to perform the inspection. Unseen conditions may exist due to stored items and furniture.

### 14. Smoke Detector(s)

#### Maintenance

*One or more smoke detectors were NOT tested due to their integration into the security system. Testing the alarm may notify emergency services. Recommend checking with the seller as to the operation and functionality of the system. All dwellings should have at least one functioning smoke alarm installed outside each sleeping area and on each level of the structure.*

The accessible smoke detectors were tested and appeared to be functional at the time of the inspection. This is not an evaluation to determine if each unit is capable of detecting smoke. Any units greater than 10 years of age should be replaced as they are considered to be at the end of their service life. Recommend testing the units every month to identify the functional operation of each detector and changing the battery annually. All dwellings should have at least one functioning smoke alarm installed outside each sleeping area and on each level of the structure.



### 15. Carbon Monoxide Detector(s)

#### Action Required - Not Installed

# Extended Full Home Inspection Details

(Italicized comments also appear in the summary report)

*It appears the structure is not equipped with carbon monoxide (CO) detectors in one or more levels. CO detectors are recommended where there is a possible source of CO present; such as gas burning appliances and fireplace systems. Recommend that one or more CO detectors with battery backups be installed on each level in the structure according to manufacturer recommendations.*

## 16. Radon Mitigation System Installed

Attention - No Radon System

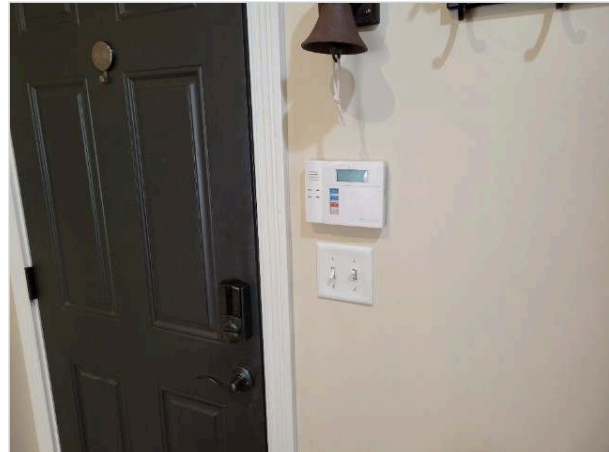
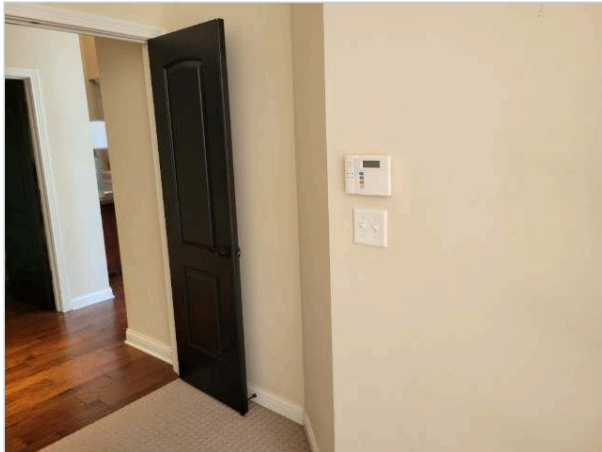
*A radon mitigation system is not installed. Radon is a naturally occurring radioactive gas that can cause lung cancer. Radon is colorless, odorless and tasteless. It can seep into the structure through cracks, joints, basement drains, sump pits or other tiny openings in foundations. Structures with elevated levels of Radon have been found in every county of Indiana. All homes in Indianapolis and surrounding counties have been identified as HIGH radon potential. The EPA and Surgeon General recommend that **every home should be tested for Radon at every real estate transaction and every five years.***

*A Radon gas test was ordered by the client.*

## 17. Alarm/Security System

Installed

The structure is equipped with a security system that can provide added safety. The system was NOT tested under the standard of practice and scope of the inspection and it's operation is unknown. Recommend check with the seller on the use and operation of the system.



## 18. Asbestos Noted

N/A

Testing for asbestos is beyond the scope of a home inspection and was not performed.

## 19. Lead

N/A

Testing for lead is beyond the scope of a home inspection and was not performed.

## 20. Evidence of Insects

No

## 21. Evidence of Undesirable Animals

No

## Fireplace/Wood Stove

### 1. Solid Fuel/Gas Logs/Gas Appliance

Direct Vent - Multiple Locations



# Extended Full Home Inspection Details

(Italicized comments also appear in the summary report)

There are one or more natural gas fuel heating system/fireplace(s) in this structure. Commonly known as a "Direct Vent Fireplace". Direct Vent Fireplaces are factory built and their venting can be routed directly through a wall to the outside, using rigid or flexible venting. This inspection does not cover code clearances and improper installation.



Functional.



Functional.

## 2. Location

Multiple Locations

## 3. Firebox

Functional

The firebox appears functional.

## 4. Flue Condition

Functional - Direct Vent

The Direct Vent flue system is composed of two flues, the inner flue and the outer flue. The outer flue draws air into the bottom of the sealed firebox to allow for combustion. The inner flue draws hot exhaust gasses from the top of the sealed firebox and vents them directly to the outside of the structure through either an adjacent wall or the roof. Due to the nature of the construction the majority of the flue is not visible for inspection.

## 5. Rain Cap/Spark Arrestor

Functional - Direct Vent

There is an installed termination cap that appears functional. Care should be taken around installed termination caps when operating the fireplace as the termination cap can get hot.



# Extended Full Home Inspection Details

(Italicized comments also appear in the summary report)

## Kitchen(s)

### 1. Floor Cover Material

Functional

### 2. Ceiling/Walls/Doors

Functional

### 3. Sink/Faucet

Functional

### 4. Kitchen Fixtures

Functional

### 5. Drains Appear Clear

Yes

The water was run for several minutes and the drain appears to be clear at this time.

### 6. Under Sink Inspection

Maintenance

*The bottom of the sink base cabinet is stained, warped, damaged or missing likely due to a current or past plumbing leak or cleaning chemical spill. There may be unseen or hidden damage. Invasive inspection may be required to determine the extent of damage. Recommend evaluation and repair or replacement by a qualified specialist.*

Stored items under the sink may limit the view for inspection. An unknown condition may exist. The areas that were visually clear appeared to be functional.



### 7. Garbage Disposal

Functional

An on/off check of the garbage disposal was performed to determine if it is operational. A full cycle check is not possible in the time of this inspection and is beyond the scope of the standards of practice. garbage disposal adequacy can not be determined. The service life of a garbage disposal is 12 years.

### 8. Dishwasher

Functional

An on/off check of the dishwasher was performed to determine if it is operational. A full cycle check is not possible in the time of this inspection and is beyond the scope of the standards of practice. Dishwasher adequacy can not be determined. The service life of a dishwasher is 9 years.



## Extended Full Home Inspection Details

(Italicized comments also appear in the summary report)



### 9. Built-in Microwave Operational

Not Installed

A built-in microwave oven was not installed at the time of inspection.

### 10. Stove Exhaust Fan

Functional

### 11. Stove Exhaust Filter

Functional

The exhaust fan filter is functional. The cook top grease filters can sometimes be cleaned in the dishwasher; check with the manufacture. The service life of an exhaust fan is 5-10 years.



### 12. Stove/Cook Top

Gas

### 13. Cook top, Burners/Elements

Functional

All heating elements appear to be functional when powered on.



## Extended Full Home Inspection Details

(Italicized comments also appear in the summary report)



### 14. Oven Operational

Yes

The oven was powered on and appears to function as intended. A full evaluation of the oven's features is beyond the scope of this inspection and therefore not known. The recommended service life of an electric oven is 13-15 years and a gas oven is 10-18 years.



### 15. Water For Refrigerator

Yes

There is a water connection in the area of the refrigerator. This water supply is required for automatic ice machines and water dispensers. Note: the refrigerator, if present, was not inspected as it is beyond the scope of practice.

## Extended Full Home Inspection Details

(Italicized comments also appear in the summary report)



### 16. Counter Tops

Maintenance - Counter Top Splash

*The kitchen counter top does not have an installed sidesplash. The current condition does not protect the walls and unseen areas from moisture damage. Recommend installation of the required splash by a qualified specialist.*

### 17. Drawers/Doors

Functional

### 18. Woodwork Finishes

Satisfactory

## Laundry Area

### 1. Location

Multiple Locations

### 2. Floor Condition

Satisfactory

The visible portions of the laundry area flooring appear to be in a functional condition. If present, the washer and dryer are not moved to inspect behind or under them, which is beyond the scope of the standards of practice as damage to the floor may result.



Main level.



Upper laundry.

### 3. Ceiling/Walls/Doors

Satisfactory



# Extended Full Home Inspection Details

(Italicized comments also appear in the summary report)

## 4. Washer Hookup(s)

Yes

The hookups for the washer were present and appear functional. Testing of the connection and inspection of the clothes washer if present is beyond the scope of the standards of practice. The service life of a clothes washer is 12-16 years.



Upper laundry.

## 5. Drain(s)

Not Tested

## 6. Dryer Electrical Service 240V

Yes

There is a 240 volt electrical service outlet in the laundry area that appeared functional. Testing of the connection and inspection of a clothes dryer if present is beyond the scope of the standards of practice. Clothes dryers have an average service life of 8-14 years.



Main level.



Upper laundry, not tested.

## 7. Dryer Ventilation System

Action Required

*The vent system for the dryer exhaust has a significant build up of lint and debris. There is a grill or grate installed over the top of the dryer vent cover. This type of vent cover will clog rapidly and required frequent cleaning. The leading cause of fires from clothes dryers is excessive lint and other debris within the vent system. Corrective action should be taken as soon as possible to avoid a fire. This will also reduce the efficiency of the dryer. If additional methods are desired to prevent entry of animals, alternative vent cover designs exist that will prevent animal entry, but will not pose the same fire risk. Recommend professional cleaning of the dryer vent system.*

# Extended Full Home Inspection Details

(Italicized comments also appear in the summary report)

## 8. Gas Service

Yes

The structure is equipped with a gas service line in the laundry area. Testing of the connection and inspection of a clothes dryer if present is beyond the scope of the standards of practice. Clothes dryers have a service life of 8-14 years.



Main level.



Upper level.

## 9. Laundry Basin

Functional

The laundry basin is located in the laundry room.



## Bathroom(s) / Washroom(s)

### 1. Floor Cover

Functional

### 2. Ventilation

Maintenance - Vent Fan Noise

*One or more bathroom ventilation fans makes an unusual or loud noise. There may be a defect or near future failure. Recommend repairing or replacing the fan by a qualified specialist.*

### 3. Sink/Fixtures

Maintenance - Stopper

*The master bathroom sink drain stoppers are difficult to operate. Recommend repair by a qualified specialist.*

### 4. Medicine Cabinet/Vanity

# Extended Full Home Inspection Details

(Italicized comments also appear in the summary report)

## Maintenance

*One or more pedestal sinks or bases are not secured or damaged. Recommend repair by a qualified specialist.*

*One or more of the cabinet drawers and/or doors are damaged, not installed or need adjustment. Recommend repair by a qualified specialist.*

## 5. Caulking - Water Exposed Area

### Maintenance - Sealant

*One or more areas in the bathroom has insufficient sealant. Moisture leaking through unsealed areas can cause structural damage. There may be unseen or hidden damage. Invasive inspection may be required to determine the extent of damage. Recommend repair by a qualified specialist.*

## 6. Toilet(s)

### Maintenance - Toilet Not Functional

*One or more bathroom toilets were not functional at time of inspection. Recommend evaluation and repair by a licensed plumber.*

## 7. Tub(s)

### Functional

## 8. Tub/Shower Drain(s)

### Functional

The bathroom tub and shower drains appeared to be functional.

## 9. Tub Fixtures

### Functional

## 10. Shower Fixtures

### Maintenance - Shower Diverter

*One or more shower diverters appeared to be damaged. The shower diverter changes the direction of water flow from the tub faucet up to the shower head. When the shower head is active and water is still coming out of the tub faucet, the shower diverter is damaged and replacement is indicated. Moisture related damage may be hidden or otherwise undetectable by the inspector at the time of inspection. Invasive inspection may be required to determine the extent of damage. Recommend repair by a licensed plumber.*

## 11. Shower/Tub Enclosure(s)

### Functional

## Attic

### 1. Access Location/Type

#### Garage / Closet

### 2. Access

#### Maintenance

*Access to the garage attic was not provided. The attic access opening cover was blocked and the attic could not be inspected. Recommend inspection of the space when access is provided.*

The attic opening appears to provide for adequate access.



# Extended Full Home Inspection Details

(Italicized comments also appear in the summary report)



Main attic access.

## 3. Insulation

### Blown-in Fiberglass

There appears to be approximately 16-18 inches of blown in fiberglass insulation in the attic. The insulation is generally evenly spread throughout the visible portions of the attic; however there are a few areas that have been disturbed by prior tradespersons. Loose fill fiberglass has an insulation "R" value between 2.2 - 4.3; 12 - 18 inches is needed to meet current Department of Energy recommendations. Residential attics in Indiana should have an attic insulation value of at least R-38.



## 4. Attic Evaluated By

### Entrance

The inspector entered the attic and inspected the accessible and visible areas. Most attics have cavities that are difficult to evaluate and observe due to obstructions.

## 5. Inaccessible Areas

No

## 6. Light Thru

No

The inspection of the attic space found no evidence of gaps at the time of inspection.

## 7. Ventilation

### Satisfactory

There appears to be satisfactory passive ventilation in the attic area.

## Extended Full Home Inspection Details

(Italicized comments also appear in the summary report)



### 8. Duct Work Piping

Satisfactory

The visible portions of the duct work and piping appeared to be in satisfactory condition. Gaps and disconnected ducts may not be detectable during a home inspection. Duct leakage tests and blower door pressurization tests are beyond the scope of a home inspection and may be performed by HVAC contractors.

### 9. Roof Inspect from Underside

Functional

The underside of the roof was inspected and found to be in a functional condition.



### 10. Framing condition

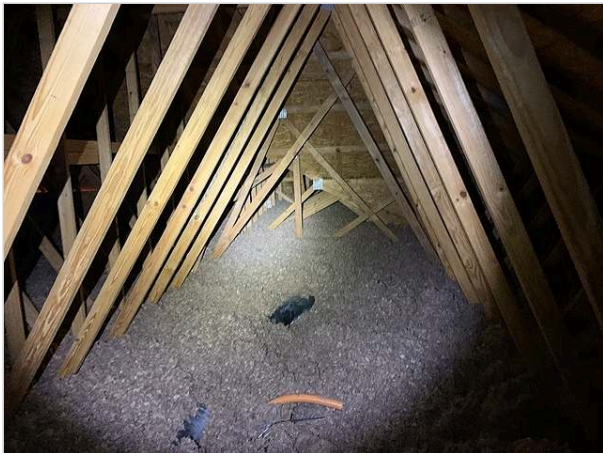
Functional

The framing in the accessible areas of the attic appeared to be functional.



## Extended Full Home Inspection Details

(Italicized comments also appear in the summary report)





# Extended Full Home Inspection Details

(Italicized comments also appear in the summary report)



## 11. Evidence of Undesirable Animals

Yes - Vermin Activity

*Multiple locations: There is evidence of vermin activity in one or more areas of the structure. Recommend implementation of preventative treatment methods and if needed further evaluation by a licensed exterminator.*

## Air Conditioning

### 1. Type of Units

Central A/C

Unit 1 Manufacture date: October 2012

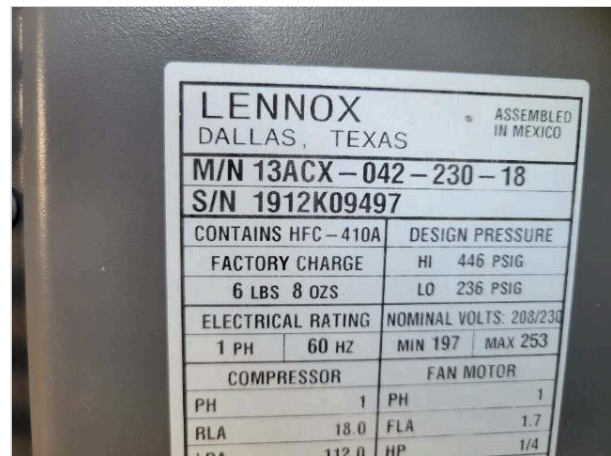
Unit 2 Manufacture date: February 2012

A central air conditioner is the outside appliance that contains a compressor and condenser coil. These components work together to convert refrigerant inside the

appliance from gas to liquid in a cycle from within the house to the outside appliance and back again. This process cools the indoor air temperature and reduces humidity. Annual maintenance of all HVAC equipment is vital to prolonged lifespan. The average service life of an air conditioner is 12 - 15 years.



Unit 1



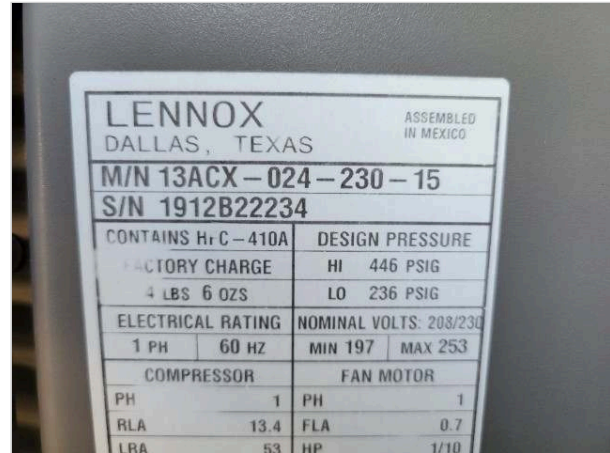
Unit 1

# Extended Full Home Inspection Details

(Italicized comments also appear in the summary report)



Unit 2



Unit 2

## 2. Energy Source

Electrical - 240 Volts

## 3. Power Disconnect Location

At or Near the Unit

## 4. Systems Operation

Functional

The air conditioners appeared to be operating and responding to the on/off command at the thermostat. This visual inspection does not include a complete system check. Annual maintenance of all HVAC equipment is vital to prolonged lifespan. The average service life of an air conditioner is 12 - 15 years.

## 5. Condensing Coil Condition

Maintenance

*The outdoor portion of both air conditioners has insufficient clearance from nearby vegetation growth. There are vines growing inside the units. This can reduce the efficiency of the unit and may cause damage. A minimum of 12 inches of clearance is recommended. Recommend repair by a qualified specialist.*

*The condensing units are very dirty. Debris buildup can cause system malfunction, premature deterioration of the appliance and loss of energy efficiency. Recommend cleaning by a qualified HVAC technician.*

## Heating System

### 1. Location(s)

Multiple Locations

### 2. System Type(s)/Info

High-Efficiency Condensing

Unit 1 Manufacture date: August 2012

Unit 2 Manufacture date: June 2012

The installed furnace is an energy efficient high efficiency (H/E) condensing furnace which extracts extra heat with a second heat exchanger. The remaining byproduct becomes a mixture of carbon dioxide and water, which requires a different type of venting system. The condensate that is left over from a high efficiency condensing furnace contains acidic water that would damage normal metal vents. As a result, a high efficiency system uses PVC pipes that are connected to your furnace and lead out of the side or roof. Annual maintenance of all HVAC equipment is vital to prolonged lifespan. The average service life of a furnace is 15 - 20 years.

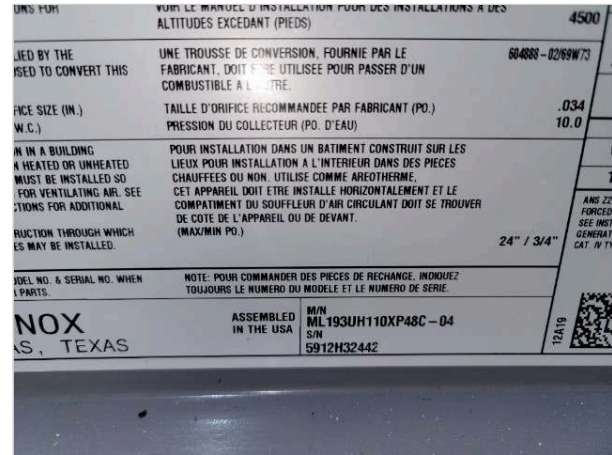


## Extended Full Home Inspection Details

(Italicized comments also appear in the summary report)



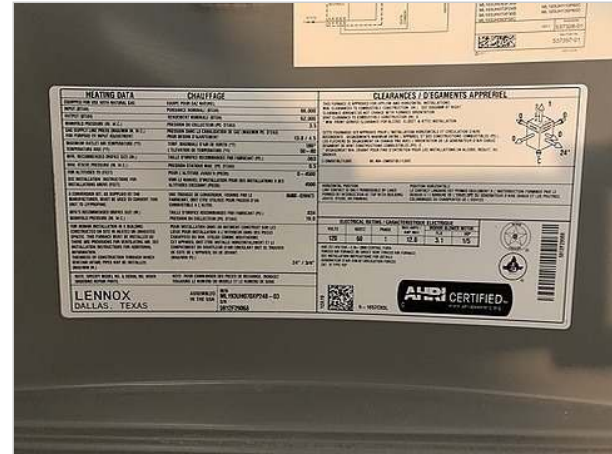
Unit 1



## Unit 1



Unit 2.



Unit 2.

### 3. Thermostat Location(s)

## Multiple Locations

The structure is equipped with multiple thermostats for the different HVAC systems.



Main level.



Upper level.

#### 4. Thermostat Type

Electronic Programmable

# Extended Full Home Inspection Details

(Italicized comments also appear in the summary report)

## 5. On/Off Check

Functional

## 6. Operation Noise

Maintenance - Noise

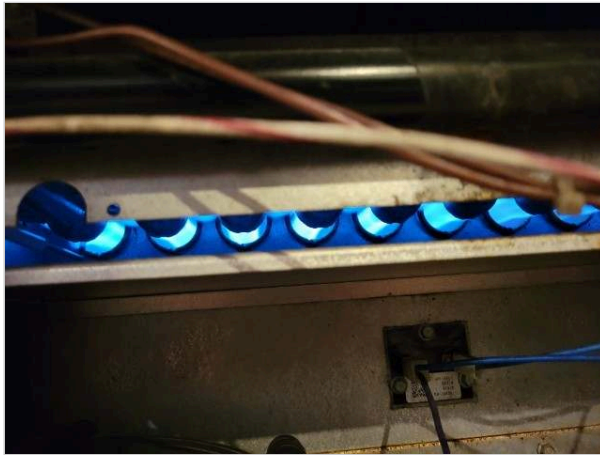
*A loud or unusual noise was observed at the furnace during operation that may indicate a damaged component. Recommend evaluation and repair by a qualified HVAC technician.*

## 7. Vents/Flues

Maintenance

*The heating system burners were dirty and need to be cleaned. There is uneven, flickering flames visible when operating the unit. Recommend an evaluation and service of the burners, vents and flues by a qualified HVAC technician.*

The gas furnace burners appeared clean at the time of inspection.



Unit 1

## 8. Condensate Drain System

Maintenance - Corrosion (dry)

*Dry moisture stains or corrosion was observed inside or near the air handler/furnace below the cooling coil. It appears this condition was the result of a previous leak. The defect may have been repaired or may only occur under specific conditions. Recommend evaluation by qualified HVAC technician.*

## 9. Filter Size/Condition

Functional

The HVAC filter appears to be in a functional condition. Recommend inspecting the filter every month and changing the filter according to the manufacturer's recommendation or every 90 days to ensure safe and efficient operation.



# Extended Full Home Inspection Details

(Italicized comments also appear in the summary report)



Unit 1



Unit 2.

## 10. Service Notes

Maintenance - No Recent Service

*There does not appear to be any visible posted service notes of recent documented service within the last year of the HVAC system. Annual maintenance of all HVAC equipment is vital to prolonged lifespan. Recommend complete evaluation and service by a qualified HVAC technician.*

## 11. Ducts/Returns/Radiators

Functional

The supply and return ducts and vents appeared functional. Testing for microbial growth in the duct work is beyond the scope of a home inspection and was not completed. The presence of microbial growth can only be determined by sampling and lab testing.

## 12. Humidifiers

Attention - Installed

*There is a whole-house humidifier system installed. The system was not inspected or tested as it is beyond the scope of the standard of practice. Whole-house humidifiers can be prone to mold growth. The units must be maintained and cleaned regularly. Many styles of humidifiers contain a media pad that should be replaced annually. The average service life of a humidifier is 5-7 years. Recommend asking seller about the operation of the unit and/or evaluation by a qualified HVAC technician.*

## 13. Radiant Heating

N/A

## Water Heater

### 1. Location(s)

Utility Area

### 2. Type

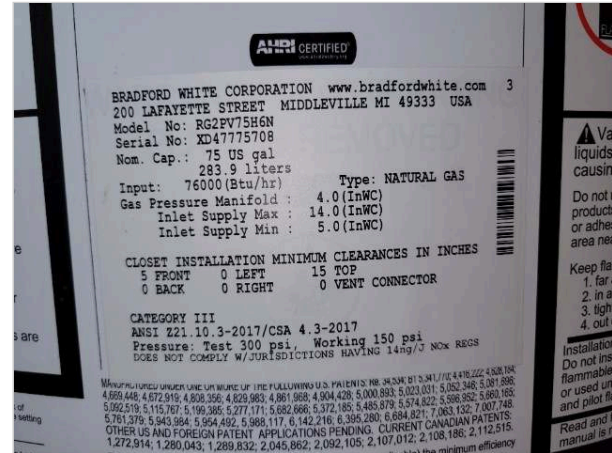
Gas

Manufacture date: April 2021

The average service life of a water heater is 8-12 years. Gas water heaters must have a continuous source of air and fuel. Proper ventilation for intake air (combustion) and exhaust is required. Providing at least two feet of clearance around the water heater is recommended. The recommended setting for a residential water heater is a maximum of 120 degrees Fahrenheit. To increase the service life, it is recommended to periodically drain and flush the tank to remove any sediment buildup.

# Extended Full Home Inspection Details

(Italicized comments also appear in the summary report)



## 3. Size Main/Aux (Gal)

Approximately 75 US Gallons

## 4. Evidence of Leaks

No

There was no visible leak in the water heater tank. Inspecting the water heater periodically for evidence of moisture and corrosion is recommended.

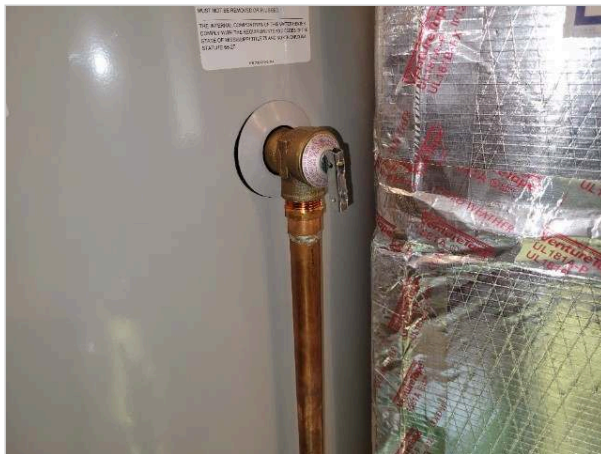
## 5. Evidence of Encrustation

No

## 6. Safety Valve

Installed

The water heater is equipped with a temperature and pressure relief valve as required. The valve lever should be operated per manufactures recommendations to ensure that waterways are clear. Naturally occurring mineral deposits may adhere to the valve, rendering it inoperative. If water does not flow freely when the lever is operated, replacement of the valve is recommended.



## 7. Discharge Pipe

Functional

There is a discharge pipe connected to the Temperature Pressure Relief valve (TPR) as required. A discharge pipe is required to be installed at the TPR valve and terminate within six inches of the ground near the water heater. The pipe is intended to prevent someone from being sprayed with extreme hot water in the event that the TPR valve activates. Discharging of a TPR valve is uncommon and would indicate that the water heater is in need of repair or replacement.



## 8. Installation

Functional

### Plumbing

#### 1. Size Service to Structure

3/4 Inch

#### 2. Structure Pipe Material

Copper

The visible areas of the structure supply piping appeared to be constructed in part or completely of copper pipe.

Copper pipe is the most commonly installed type of pipe in homes. It has been widely used in the construction industry since the 1940's. Copper is safe, reliable and durable. The expected average service life of copper water supply plumbing is 70 years or more.

#### 3. Waste Pipe Material

Maintenance

*One or more waste drains are constructed of flexible plumbing. Flexible plumbing may obstruct drainage flow and can harbor bacteria. Waste plumbing shall have a smooth interior waterway. Recommend evaluation and replacement by a qualified specialist or plumber.*

*One or more areas of the PVC or plastic waste plumbing has metal straps. Metal or wire straps should not be used to secure plumbing waste drains. Straps may fail to resist upward thrust and lateral movement from water surge and expansion and contraction. The resulting movement may cut and damage the piping. Plastic straps should be used. Recommend replacement by a licensed plumber.*

The visible areas of the structure waste piping appeared to be constructed in part or completely of PVC pipe.

PVC is a light-colored, often white, highly durable plastic. It is the most common type of pipe used for modern residential waste sewer lines. The expected average service life is 100 years.

#### 4. Surge Bangs

No

#### 5. Encrustations Evident

No

Encrustations (readily visible deposits at the pipe connections) are an early indication of a developing leak. There were no encrustations visible that would indicate a developing leak.

#### 6. Evidence of Leaks

No

An inspection of the readily accessible sections of the plumbing water supply, waste pipes, faucets and fixtures identified no visible leaks that require repair at this time. A program of regular inspection by the owner should be considered in order to identify any visible leaks prior to causing any substantial damage.

#### 7. Soft Water System

Attention

*There is a soft-water system installed in the basement. The system appeared to be constantly draining. There may be a defect with the system or setting that needs to be modified. Some of the many benefits of a water softener is increased service life of the water heating system, reduction of mineral deposits, better performance of the dishwasher and general water quality. Testing of the system is beyond the standards of practice of a home inspection. Functionality, operation and adequacy were not verified. For further analysis, recommend evaluation by a licensed plumber or qualified technician.*

#### 8. Filter System

N/A

# Extended Full Home Inspection Details

(Italicized comments also appear in the summary report)

## 9. Water Temperature - At Fixture

Action Required - Too Hot

*The temperature of the water at one or more fixtures exceeded the recommended setting of 120 degrees Fahrenheit. If the temperature is set too high, accidental burning may occur. Children are burned at a lower temperature than adults. Recommend setting the water heater to 120 degrees for safety by a qualified specialist.*

## 10. Interior Water Flow

Functional

## 11. Exterior Water Flow

Maintenance - Not Functional

*One or more exterior hose bibs were not functional. There may be a defect with the hose bib operation. The water service may also be intentionally turned off for winterizing, if the house is vacant or another unknown reason. Recommend asking the seller about this condition. If indicated, recommend evaluation and repair by a licensed plumber.*

## Electrical Service

### 1. Panel/Sub-Panel Location(s)

Basement

### 2. Service Size (Amps)/(Volts)

300 Amps - 240 Volts

### 3. Over Current Devices

Breakers

### 4. Service Ground Verified

Yes

### 5. Service to Panel

Aluminium

The service wiring to the panel.



### 6. Panel to Structure

Copper

### 7. Panel Cover

Maintenance



# Extended Full Home Inspection Details

(Italicized comments also appear in the summary report)

*The panel cover is missing an accurate circuit breaker location legend. A location legend is an important safety feature for verification of circuits and to provide quick identification of service disconnects in the event of an emergency. Recommend identification and installation of an accurate circuit location legend by a qualified specialist.*

*The electrical panel cover is missing one or more fasteners. Electrical panels should be secured in place with screws specifically for this application as a safety measure. Recommend repair by a qualified specialist.*

## 8. Panel Cover(s) Removed

Yes

The face plate of the electrical panel was removed at one or more of the electrical panels to provide the inspector visual access for inspection.



## 9. Breaker Configuration

Functional

## 10. Wire-Over Current Compatibility

Functional

## 11. Receptacle Ground Verify

Functional

## 12. G.F.C.I. Protection

Yes

Current electrical code requires that ground fault interrupters (GFCI) outlets be located in areas where there is a potential danger of electrical shock. This includes all outlets in bathrooms, kitchens, garage areas and the exterior. This property has GFCI protection.

## 13. Outlets, Switches, Junction Boxes, Lighting

Maintenance

*There are one or more outlets that are damaged, loose or not functional. This condition could lead to electrical shock. Recommend evaluation and repair by a licensed electrician.*

*There is one or more bare bulbs installed in a closet. Exposed or partially exposed incandescent or LED bulbs are not allowed in closets. While utility light fixtures with bare bulbs in a socket were once common in closets and other storage areas, these are no longer allowed. All light bulbs must be fully enclosed in a globe or other housing. Recommend repair or replacement by a qualified electrician.*

*There are one or more light(s) in the structure that did not illuminate when operated. This condition could be simply a light bulb that is burnt-out or another condition that could not be identified by visual inspection. Repair or replacement is recommended by a qualified specialist.*

# Extended Full Home Inspection Details

(Italicized comments also appear in the summary report)

A representative number of installed outlets, switches and lighting fixtures were tested in the structure. Testing of every outlet, switch and light and a full measure of each outlet or switches amperage, voltage or impedance is beyond the standards of practice.

## 14. Wire Method

Romex

The wiring appears to be new plastic insulated or "Romex/NM" wiring.

## Basement

### 1. Access/Stairs

Action Required

*All stairway handrails should be continuous within the full length of each stair flight. The basement custom handrail is secured to the wall in several locations. This requires occupants to release their grip on the handrail temporarily. Recommend evaluation and if indicated, repairs or replacement by a qualified contractor.*

### 2. Ceiling

Functional

### 3. Floor/Walls

Finished

One or more areas of the basement is "finished" with drywall or other material. This condition obstructs the view of the basement ceiling, foundation walls and other areas for inspection. Recommend regular monitoring of the basement for any signs of moisture penetration.



### 4. Visible Supports/Framing

Functional

### 5. Moisture/Dampness

Functional

There was no visible evidence at the time of inspection that moisture has penetrated past the foundation walls or evidence of an excessive moisture condition. A visual inspection of the foundation walls may not disclose moisture penetration deficiencies which may only be visible under certain meteorological conditions. Consideration should be given to installation of a dehumidifier as another method to ensure basement air quality.

### 6. Drainage and Sump Pumps

Maintenance - No Battery Backup System

*There is a sump pit with a sump pump in the basement. The installed sump pump was tested for functionality and appeared to be functional at the time of inspection. There is no battery backup system installed. In the event of a power loss, the sump pump will not be functional. Overflow of the sump pit may create substantial damage to surrounding building materials. Recommend installation of a battery backup system by a qualified specialist.*

# Extended Full Home Inspection Details

(Italicized comments also appear in the summary report)

## Attached Garage

### 1. Size

Three Car

Exterior of the garage.



### 2. Door(s), Garage - Building

Functional

### 3. Garage Door(s)

Functional

The garage door appears to be in a functional condition. A garage door has an average service life of 20-25 years.

### 4. Springs/Mount

Functional

### 5. Door Seal

Functional

The overhead garage door seal appears to be in a functional condition and should provide for the intended service.

### 6. Automatic Opener(s)

Functional

The automatic garage door openers appeared to be functional. The average service life of a garage door opener is 8 - 12 years.

### 7. Safety Operation, Opener(s)

Maintenance - Auto Reverse Not Functional

*One or more garage door opener's auto-reverse function is damaged or needs adjustment. When an overhead garage door is closing, a built-in sensor should detect any resistance. If an object is in the path of the door, the door should stop and reverse. This safety feature has been standard on all garage door openers manufactured since 1991. Many automatic openers allow for the adjustment of the sensitivity of this feature. If the affected opener does not, it should be replaced. Recommend evaluation and repair by a qualified overhead garage door specialist.*

### 8. Floor/Foundation

Attention - Stored Items

*One or more areas of the garage were inaccessible to inspection due to stored items. Recommend inspection when access has been provided.*

The visible areas of the garage floor appeared to be in a functional condition.



## Extended Full Home Inspection Details

(Italicized comments also appear in the summary report)



### 9. Evidence of Moisture Penetration

Functional

### 10. Fire Wall/Ceiling Board

Action Required - Fire-Separation Wall

*One or more areas of the garage fire-separation wall is inadequate or damaged. The ceiling and any walls between the attached garage and the interior shall be covered with drywall, a fire-resistant material. Drywall seams shall be tapped and mudded. Large holes should be repaired and all smaller gaps should be sealed with a fire-rated caulk. The fire-separation wall must resist the free passage of flames and the products of combustion for safety. Recommend repair by a qualified specialist.*

## Swimming Pool

### 1. Age of Installation

Not available

### 2. Type of Construction

Maintenance - Liner Wrinkles

The installed pool is a concrete poured, vinyl lined pool. Vinyl is the more popular option as it comes with the smallest upfront cost. Additionally, you can customize a vinyl pool liner to any shape and size you want. And this type hinders algae growth. Vinyl pool liners have a higher lifetime cost as replacement and/or repairs are much more common. They're also more susceptible to damage. The service life of a vinyl liner is up to 10 years.



# Extended Full Home Inspection Details

(Italicized comments also appear in the summary report)

*Pool liner wrinkles and gaps in the liner fit have been found. Pool liner wrinkles can happen for a number of different reasons. They can develop suddenly, or slowly over a long period of time. Wrinkles can also happen when the liner is first installed if the liner is not measured correctly, manufactured correctly or it is oriented poorly during the installation. In most cases this is not an immediate concern. However these areas can be prone to developing holes since they are physically raised above the surface of the pool. The areas found in this pool appear functional and recommend monitoring these areas for leaks or further wrinkle development. For further information, recommend evaluation by a qualified pool install contractor.*

### 3. Service Company Indication

Not Provided

### 4. Area Lighting

Satisfactory

### 5. Decking Surface

Maintenance

*One or more areas of the concrete is cracked. All concrete is subject to cracks and chips. Most cracks are a natural cause of being exposed to the elements and simple settling. Larger cracks may be a sign of improperly compacted soil, faulty foundation or construction methods, or excessive moisture exposure. Recommend evaluation and repair by a qualified specialist.*



### 6. Decking Drainage

Satisfactory

### 7. Pool Cover

Functional

The powered pool cover was on/off tested and cycled. It appeared functional at the time of inspection.



## Extended Full Home Inspection Details

(Italicized comments also appear in the summary report)



Open and safety close functional.



Ropes satisfactory.



Motor housing satisfactory.



### 8. Aquatic Safety Devices Installed

#### Ladder & Steps

The ladder(s) and steps appear functional.



Step at deep end, steps at shallow.

### 9. Coping Seal

Functional



## Extended Full Home Inspection Details

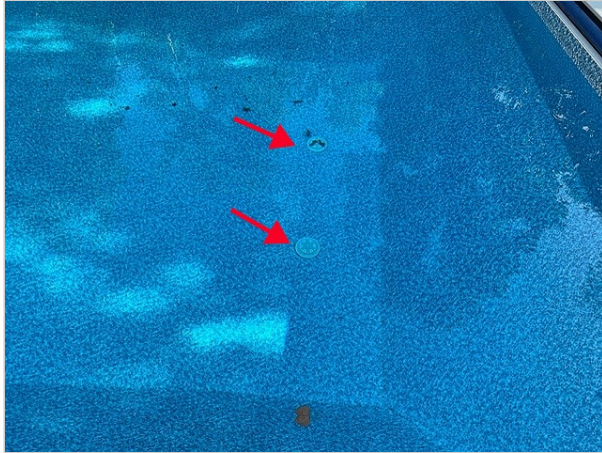
(Italicized comments also appear in the summary report)

Coping is the border around the top perimeter of the pool—the transition from the pool to the patio. The coping appears functional.

### 10. All Plastics/Main drains/Return lines/Skimmers

Satisfactory

The pool bottom drain is functional and prevents entrapment as required. The pool edge skimmers appear functional.



Drain covers.



Functional.



Functional.

### 11. Under Water Light

Functional

The pool under water light(s) appears functional.

### 12. Control Location/Type

Back yard

The pool controls.



## Extended Full Home Inspection Details

(Italicized comments also appear in the summary report)



### 13. Pool Electrical Ground/Bond/GFCI Functional



Bonded to pool.



Bond at heater.



Bond at pump.



GFCI breakers.

### 14. Visible Piping Condition

Functional

The visual areas of the plumbing appeared functional.

### 15. Pump/Heater Pipe Materials

# Extended Full Home Inspection Details

(Italicized comments also appear in the summary report)

Plastic

The pool plumbing appears to be plastic.

## 16. Pump Type

Electric

An electrically operated water pump is the prime motivator in recirculating the water in the pool. Water is forced through a filter and then returned to the pool. To save electricity costs, water pumps should be run for between 6 hours and 12 hours with the pump being controlled by an electronic timer. Electric pumps have a service life of 10 years.



## 17. Filter System Type

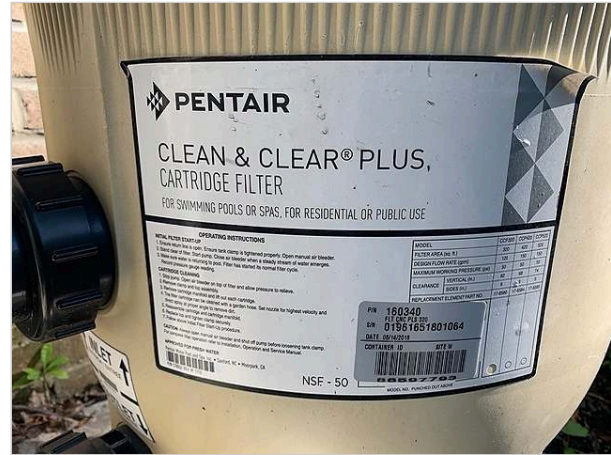
Cartridge

Cartridge filters are an aquatic version of the pleated air filter in your car, traps dirt and particles of 25 - 100 *microns* in size. To clean the filter, the cartridge is removed from the tank and hosed thoroughly, top to bottom, with a garden hose. A chemical cleaner specifically designed for this purpose may also be used. This is done as necessary to remove dirt when the pressure gauge rises 8 - 10 lbs. above its clean reading.



# Extended Full Home Inspection Details

(Italicized comments also appear in the summary report)



## 18. Gauges

Functional

The gauge appears functional.



## 19. Heater

Heat Pump

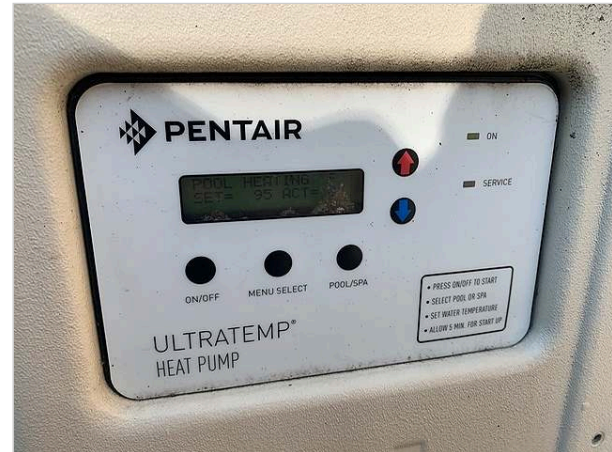
The heat pump heater has a fan that draws in the outside air and directs it over the evaporator coil. Liquid refrigerant within the evaporator coil absorbs the heat from the outside air and becomes a gas. The warm gas in the coil then passes through the compressor. The compressor increases the heat, creating a very hot gas that then passes through the condenser. The condenser transfers the heat from the hot gas to the cooler water circulating through the heater. The heated water then returns to the pool / spa. The hot gas, as it flows through the condenser coil, returns to liquid form and back to the evaporator, where the whole process begins again.

# Extended Full Home Inspection Details

(Italicized comments also appear in the summary report)



Functional.



## 20. Salt System/Chlorine Generator

### Chlorination System

An in-line pool chlorination feeder pumps chlorine directly into your pool instead of running through your filter first, saving your filter system from chlorine corrosion. The amount is controllable and allows for moderate to long term dispensing to ensure proper chlorine levels.



## 21. Accessories Consid. Part of System

N/A



## Extended Full Home Inspection Details

(Italicized comments also appear in the summary report)

### 22. Automatic Pool Vacuum Condition

Not Tested



### 23. Maintenance Tools On Site

N/A

### 24. Water Feature/Fountain

Installed



Installed not tested.



Recreational anchors installed.